

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 15 December 2015	Classification For General Release	
Report of Director of Planning	Wards involved West End		
Subject of Report	18 Conduit Street, London, W1S 2XN		
Proposal	<ol style="list-style-type: none"> 1. Use of part ground and the first to fifth floors as three flats (Class C3). Alterations to the rear including the creation of a green roof, the installation of screened plant at rear second floor level; new windows to the front elevation. 2. Use of the first to fifth floors as three flats (Class C3) with external amenity areas to rear. Mansard roof extension and rear extensions at second and third floor levels to create additional residential floorspace. Alterations to the Conduit Street facade and reconfigured access arrangement including separate entrances at ground floor level to serve the residential units. Installation of new ventilation equipment. 		
Agent	DP9		
On behalf of	Marisilver Investissement SA		
Registered Number	<ol style="list-style-type: none"> 1. 15/05543/FULL 2. 15/07348/FULL 	TP / PP No	TP/15877 : PP-04283980
Date of Application	<ol style="list-style-type: none"> 1. 18.06.2015 2. 10.08.2015 	Date amended/ completed	<ol style="list-style-type: none"> 1. 23.09.2015 2. 27.08.2015
Category of Application	Other		
Historic Building Grade	Unlisted		
Conservation Area	Mayfair		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Proposal 1. Grant conditional permission.

Proposal 2. Grant conditional permission.



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Data Source:

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18 CONDUIT STREET, W1

2. SUMMARY

The application relates to a small commercial building located between Regent Street and New Bond Street. The basement and ground floors are in retail use and do not form part of the application proposals. The upper floors are vacant offices. Two proposals have been submitted; the first seeks to establish the principle of the change of use from office to residential use, with limited works. The second involves substantial works behind the retained frontage, with a rebuilt mansard and new rear extensions.

There has been one main objection, from The Windmill PH in Mill Street, concerned that the proposed residential use will conflict with the running of their business, specifically that future residents will lodge complaints about nuisance from the pub's roof terrace at rear first floor level.

The key issues are considered to be:

- the principle of converting the offices to residential use;
- whether the proposed residential accommodation is adequately protected against potential noise nuisance from the adjacent pub terrace;
- the design of the extensions in Proposal 2.

For the reasons set out in the main report, the proposals are considered to comply with relevant planning policy and are acceptable.

3. CONSULTATIONS

RESIDENTS' SOCIETY OF MAYFAIR AND ST. JAMES'S

No objection (to either application).

ENVIRONMENTAL HEALTH

Proposal 1: after extensive discussions with the applicant's acoustic consultant's, has no objection to the proposals and is satisfied that the proposed flats will be adequately insulated so as not to suffer any noise nuisance from the adjacent pub terrace.

Proposal 2: raises objection - although satisfied that the internal noise levels will be satisfactory, concerned that the proposed residential external terraces will be subject to unacceptable levels of noise from the pub terrace. Recommends that the applicant enter an Ease of Deed Agreement, which would require commitments being included as part of any residential leases that prevent future residents from lodging complaints against the pub.

HIGHWAYS PLANNING MANAGER

Proposal 1: generally no objection but would like to see an extra cycle parking space for the 2- and 3-bedroom units [the scheme was subsequently amended to provide this].

Proposal 2: no objection.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 51; Total No. of Replies: 1: -

An objection to each of the applications from The Windmill Public House (PH), 6-8 Mill Street, on the grounds that the proposed residential use would conflict with adjacent commercial activity, namely, the running of the pub and specifically the operation of the pub's roof terrace at rear first floor level which is immediately adjacent to the application site.

Subsequently objected to the second application and raised queries about the applicant's noise reports for both applications, suggesting there are serious failings [reviewed and rejected by the applicant's acoustic consultants and Council Environmental Health officers];

request that provision should be made for legal clauses in the proposed flats' tenancy agreements preventing future tenants from lodging complaints against the pub.

ADVERTISED/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Site

The application premises is an unlisted on the north side of Conduit Street, between Mill Street and St George Street. The site is within the Mayfair Conservation Area. The building comprises basement, ground and five upper floors. The basement and ground floors are occupied by a retail shop (Class A1) which is not part of the current applications. There is a separate entrance that leads to the first-fifth floors, which are vacant offices (Class B1).

4.2 Relevant History

None.

5. THE PROPOSALS

Two applications have been submitted:

Proposal 1. The first application, submitted in June 2015, primarily seeks to establish the principle of the change of use from office to residential use providing three flats (1x1, 1x2 1x3 bed units). There are some alterations to the rear facade of the property including the removal of a redundant fire escape staircase, changes to the fenestration, the creation of a green roof and the installation of screened plant at rear second floor level. Replacement windows would be provided to the front elevation. This scheme initially included small balconies on the rear but these were subsequently omitted.

Proposal 2. The second application, submitted in August 2015, also seeks permission for the change of use from the offices to residential use, but includes more significant alterations and extensions. The proposal would provide 2x2 and 1x3 bedroom flats with a rebuilt extension at rear first floor level and new rear extensions at second and third floor levels, with external terraces on top of these extensions for each flat. The mansard roof extension is also rebuilt, with alterations to the Conduit Street facade, reconfigured access arrangement including separate entrances at ground floor level to serve the flats, and installation of new ventilation equipment.

6. DETAILED CONSIDERATIONS

6.1 Land Use

6.1.1 Loss of Offices

The scheme would result in 480m² (GEA) of office floorspace. Policy S47 of the City Plan advises that 'when considering development proposals, the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework... to secure development that improves the economic, social and environmental conditions in the area.'

Paragraph 51 of the NPPF advises that local planning authorities should normally approve planning applications for change of use to residential and any associated development from commercial buildings (currently in the B use class) where there is an identified need for additional housing in that area, provided that there are not strong economic reasons why such development would be inappropriate.

There are no policies within the UDP or City Plan which safeguard the existing office use. However, the City Council recognises that adopted development plan policies relating to office and mixed use policies are out of date and that, given recent pressures to convert office buildings to residential use, there is now an under-supply of office accommodation within the borough, eroding the character of commercial areas and resulting in a need to protect existing office floorspace. However, this objective still needs to be balanced against the requirement to provide new homes.

Consequently, interim measures, (set out in an initial statement dated 1 March 2015), have been drawn up in relation to the consideration of applications involving the replacement of offices with new residential floorspace, (and applications for the provision of new office floorspace). From 1 September 2015, any such applications will be determined under a 'presumption in favour of sustainable development' in line with national policy. This means that within the Core CAZ (and in other specified locations) housing is no longer acceptable in principle where it results in the loss of office floorspace. A further statement (dated 22 July 2015) confirmed that the loss of offices will be acceptable where they are to other commercial uses, or outside of the Core CAZ or other specified locations.

The current applications were submitted in June and August 2015, and therefore are not subject to consideration under the interim measures or emerging policies.

6.1.2 New Residential Accommodation – Mix, Standard and Size

Policy H 3 of the Unitary Development Plan adopted January 2007 (UDP) encourages the provision of more housing, specifically part (A) "The City Council will seek to maximise the amount of land or buildings in housing use outside the CAZ and where appropriate, within the CAZ". Policy S14 of 'Westminster's City Plan: Strategic Policies' also seeks to optimise housing delivery and states residential use is the priority across Westminster, except where specifically stated. Furthermore, S14 specifies that

- The Council will work to achieve and exceed its borough housing target set out in the London Plan"
- Residential use is the priority across Westminster except where specifically stated", and
- The number of residential units on development sites will be optimised."

The supporting text notes that "Land and buildings should be used efficiently, and larger development sites should optimise the number of units in schemes, taking into account other policies and objectives. Housing densities should reflect the densities set out in the London Plan. City Management policy will address housing densities to be applied to development sites in different parts of the city."

London Plan Policy 3.3 seeks to increase housing supply; Policy 3.4 states that new developments should optimise housing output.

In principle, the development of the site for residential use is therefore in accordance with Council policy.

Policy S14 of the City Plan seeks to optimise the number of residential units on development sites. This depends on the number and size of the proposed flats. Policies H5 of the UDP and S15 of the City Plan seek to secure an appropriate mix of units in housing developments, and policy H5 normally requires at least 33% of new units providing three or more bedrooms.

Both proposals are considered to optimise the number of residential units given the small size of the site, and each provides three units, of which one is family sized. The mix in application 1 is 1x1 bedroom flat (51m² NIA), 1x2 bedroom flat (119m² NIA) and 1x3 bedroom flat (134m² NIA). The second application proposes 2x2 bedroom flats (97 and 117m² NIA) and

1x3 bedroom flat (170m² NIA). The mix of units is therefore considered to be acceptable, as are the proposed sizes of the units.

Scheme 1 would provide 480m² of new residential floorspace while Scheme 2 would provide 565m² (GEA). As both proposals provide less than 1,000m² of new residential accommodation, there is no requirement to provide affordable housing.

6.2 Townscape and Design

The existing Victorian building makes a positive contribution to the Mayfair Conservation Area. In Proposal 1, little alteration is proposed to the front facade with most of the alterations are confined to the rear. The rebuilding of the rear facade is considered acceptable in this case. The proposals are therefore considered acceptable in design terms and are considered to be in accordance with the Councils 2007 UDP specifically, DES 5 and DES 6 and DES 9.

In the second application, the proposal is for the substantial rebuilding and extension of the building, with a retained frontage. The proposals involve rebuilding the roof and creating progressively stepped extensions to the rear. The proposal involves a small increase in the height to the existing ridge line, however most of the additional bulk is to the rear.

The rear extensions are modelled in a high quality contemporary design which is welcomed in this case. Officers consider the proposals are acceptable in design terms given the context, the limited public views, the land locked and cramped nature of the site

The roof modifications and rear extensions are considered to be acceptable in design terms, subject to condition and to accord with the City Councils 2007 UDP DES 1, 5, 6 and 9.

6.3 Amenity (Daylight/Sunlight/Overlooking)

Policy S29 of the City Plan seeks to safeguard the amenity of existing residents. Policy ENV13 of the UDP seeks to protect and improve the residential environment and resist proposals which would result in a material loss of daylight and sunlight and/or a significant increase in sense of enclosure or overlooking. Whilst the policy is primarily designed with regard to residential accommodation, the City Council may apply them to other uses, such as schools and other activities, where loss of daylight or sunlight may prejudice the present use of the premises.

Proposal 1 does not involve any extensions to the building that would impact on adjoining properties. However, Proposal 2 does include the re-modelling of the mansard roof and extensions to the rear, which would result in an increase in the height and bulk. The nearest residential units are located in 4 Mill Street, on the upper floors of the Windmill PH at 6-8 Mill Street (though this is likely to be ancillary staff accommodation), and at 16 Conduit Street (though available information suggests that it is mainly secondary windows at the rear of this property which face the application site).

No objections have been received on daylighting or sunlighting grounds.

6.3.1 Daylight and Sunlight

Recommended standards for daylight and sunlight in residential accommodation are set out in the Building Research Establishment (BRE) publication 'Site layout planning for daylight and sunlight' (2011). The applicant has undertaken a daylight and sunlight assessment of surrounding properties in accordance with the BRE guidelines.

6.3.1.1 Daylight

With regard to daylight, Vertical Sky Component (VSC) is the most commonly used method for calculating daylight levels and is a measure of the amount of sky visible from the centre point of a window on its outside face. This method does not need to rely on internal calculations, which means it is not necessary to gain access to the affected properties. If the VSC achieves 27% or more, then the BRE advises that the windows will have the potential to provide good levels of daylight. If, however, the light received by an affected window, with the new development in place, is both less than 27% and would be reduced by 20% or more as a result of the proposed development, then the loss would be noticeable. The 'no sky line' method has also been used, which measures the daylight distribution within a room, calculating the area of working plane inside the room that has a view of the sky.

The daylight report demonstrates that the loss of light to these windows will be well below 20%.

6.3.1.2 Sunlight

In terms of sunlight, the BRE guidelines state that if any window receives more than 25% of the Annual Probable Sunlight Hours (APSH, where total APSH is 1486 hours in London) including at least 5% during the winter months (21 September to 21 March) then the room should receive enough sunlight. The BRE guide suggests that any reduction in sunlight below this level should be kept to a minimum. If the proposed sunlight is below 25% (and 5% in winter) and the loss is greater than 20% of the original sunlight hours either over the whole year or just during the winter months, then the occupants of the existing building will notice the loss of sunlight. Windows are tested if they face within 90 degrees of due south.

The sunlight report demonstrates that, whilst there would be some loss of sunlight to pub at 6-8 Mill Street and the accommodation in 16 Conduit Street, these losses would be within the recommended limits advised by the BRE guidelines.

6.3.2 Overlooking

It is not considered that the proposed terraces will cause any loss of privacy through overlooking, nor that the extensions will create an unacceptable increased sense of enclosure for any neighbouring residential accommodation neighbouring the site.

6.3.3 Plant

The application has been considered in the context of Policies ENV6 and ENV7 of the Unitary Development Plan 2007 and Policy S32 of the City Plan. These policies seek to protect nearby occupiers of noise sensitive properties and the area generally from excessive noise and disturbance.

Mechanical ventilation is proposed for both schemes and acoustic reports have been submitted. The Environmental Health Officers are satisfied that the schemes will comply with standard noise restrictions.

6.3.4 Impact on the public house

An objection has been received from the operator of The Windmill PH, 6-8 Mill Street, which backs onto the application site. Planning permission was granted in September 2012 for the formation of a new roof terrace at rear first floor level to be used as in association with public house, with opaque glass screens to rear boundary. The permission is subject to a number of conditions, the most relevant to this case being:

- A restriction on the number of customers allowed on the roof terrace at any time (an increase from 20 was allowed in January 2013);
- A restriction on the use of the roof terrace to between 09:00 and 23:00 daily;
- No loud speakers are permitted on the terrace and no music can be played or performed on the terrace;

The pub operator is concerned that the proposed residential use would conflict with the running of the pub. Specific reference is made to the operation of the pub's roof terrace at rear first floor level which is immediately adjacent to the application site. The pub operator has also raised queries about the applicant's noise reports for both applications, suggesting there are serious failings with them. They have requested that provision should be made for legal clauses in the proposed flats' tenancy agreements preventing future tenants from lodging complaints against the pub.

There have been lengthy discussions between the applicant's acoustic consultants and Council Environmental Health officers, who are satisfied that the noise reports are robust and satisfactorily deal the sound insulation measures for the new flats, when their windows are closed. In part, the proposed glazing specification is driven by the noise of the church bells from nearby St. George's Hanover Square, which also backs on to the site. However, mechanical ventilation is proposed which allows for future occupants to close their windows, if they choose to do so. The restriction on the use of pub's roof terrace have also been taken into account. It is noted that there is already some existing residential accommodation within the block / street. Although the Environmental Health Officer suggests that consideration is given to changing the location and size of the bedroom windows, this is not considered to be necessary given that the current scheme is considered to be acceptable in terms of impact on new residents' amenities. However, a condition will be attached requiring the submission of a supplementary acoustic report demonstrating that the glazing strategy is adequate.

The Environmental Health Officer has objected to the potential adverse impact of the pub's terrace on the external terraces proposed for the flats in proposal 2. It is suggested that the applicant enter an Ease of Deed Agreement, which would require commitments being included as part of any residential leases that prevent future residents from lodging complaints against the pub. This has also been requested by the pub operator.

However, Council planning policy is concerned with protecting the internal environment of residential accommodation, rather than the external amenity spaces. Whilst such private amenity space is a welcome feature for residential accommodation, it is not considered reasonable to seek to protect this from external noise sources within the West End. The proposed Ease of Deed Agreement is therefore not considered to be necessary and the objections on these grounds are not considered to be sustainable.

6.4 Highways, Servicing and Parking

6.4.1 Car Parking

No off-street parking is provided for either scheme. Policy TRANS23 details an 80% on-street car park occupancy threshold above which the provision of additional vehicles to the on-street parking environment will result in an unacceptable level of deficiency.

The Highways Planning Manager advises that the evidence of the Council's most recent **night time** parking survey in 2011 (Buchanan's) indicates that parking occupancy of ResPark bays within a 200 metre radius of the site is 37%. TRANS23 includes all legal parking spaces (eg Single Yellow Lines, Metered Bays, P&D, and Shared Use) - as such with the addition of Single Yellow Line availability at night, the stress level reduces to 20%.

However, the evidence of the Council's most recent **daytime** parking survey in 2011 (Buchanan's) indicates that parking occupancy of ResPark bays within a 200 metre radius of the site is 78%. During the daytime within the area, the only legal on-street spaces for permit holders are Residential and Shared Use Bays.

Whilst it is acknowledged that the site has a high level of public transport accessibility, households with 1 or more car in the West End Ward is 29% (2011 Census figures). The data indicates that residents in the area do own cars, Residential Bays have high levels of occupancy during the day.

The introduction of increased numbers of flats, without off-street parking or on-street parking restraint, is likely to increase the stress levels. However, on the basis of the Council's data and car ownership levels, any additional on-street parking generated by the proposed residential units can be absorbed into the surrounding street network. Therefore development is consistent with TRANS23.

6.4.2 Cycle Parking

The Further Alterations to the London Plan requires 1 cycle parking space per residential dwelling with 2 for all other units. Both proposals provide the recommended amount of cycle storage within each unit.

6.4.3 Waste

General waste and recyclables will be collected and stored within each of the residential units, and residents would need to leave waste outside the property, on-street, shortly before refuse collection (twice daily).

6.5 Economic Considerations

The general economic benefits associated with the development is noted and welcomed.

6.6 Access

Internally, level access will be provided to a new Part M compliant lift, which will serve all floors. The common stair will also be reconfigured to comply with Lifetime Homes Criteria.

6.7 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.8 National Policy/Guidance considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13th November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their

degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.9 Planning Obligations

Not applicable.

6.10 Environmental Assessment including sustainability and biodiversity issues

6.10.1 Sustainability

Policy S28 of the City Plan requires developments to incorporate exemplary standards of sustainable and inclusive urban design and architecture. Policy S40 considers renewable energy and states that all major development throughout Westminster should maximise on-site renewable energy generation to achieve at least 20% reduction of carbon dioxide emissions, and where feasible, towards zero carbon emissions, except where the Council considers that it is not appropriate or practicable due to the local historic environment, air quality and/or site constraints. The NPPF establishes a presumption in favour of sustainable development. London Plan policy 5.3 also requires developments to achieve the highest standards of sustainable design, with Policy 5.2 seeking to minimise carbon emissions through a 'Be Lean, Be Clean and Be Green' energy hierarchy.

Although neither proposal is 'major', Energy and Sustainability Planning Reports have been submitted for both proposals. Proposal 1 will aim to achieve a minimal BREEAM Domestic Refurbishment rating of 'Good', and a CO2 reduction of 7% - this is acceptable given the small scale nature of the proposal.

The more substantial works and reconstruction under the second proposal enable it to achieve a BREEAM Domestic Refurbishment rating of 'Excellent', and CO2 savings of 18%, which is welcomed given the constraints of the site.

Air source heat pumps will be provided in both schemes.

6.10.2 Biodiversity

To encourage biodiversity, and in accordance with Core Strategy Policy S38 and UDP policy ENV 17, proposal 1 includes a small green roof at rear second floor level. There is no scope for this in proposal 2, given the proposed extensions and private roof terraces, but the restrictions of the site are acknowledged.

6.11 Conclusion

The proposals give rise to certain land use and amenity issues but these are considered to be acceptable, along with the design and highways aspects. Accordingly approval is recommended.

BACKGROUND PAPERS

1. Planning forms and email from DP9 dated 19.11.15
2. Representations from the Residents' Society of Mayfair and St. James's dated 27.7.15 and 21.9.15
3. Memoranda from Environmental Services dated 21.7.15, 21.8.15, 27.10.15 and 19.11.15
4. Memoranda from the Highways Planning Manager dated 13.7.15 and 23.9.15
5. Letters/email from Young and Co's Brewery dated 3.8.15, 25.9.15 and 19.11.15

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARA SPURRIER ON 020 7641 3934 OR BY E-MAIL – sspurrier@westminster.gov.uk

DRAFT DECISION LETTER

Address: 18 Conduit Street, London, W1S 2XN

Proposal:

1. Use of part ground and the first to fifth floors as three flats (Class C3). Alterations to the rear including the creation of a green roof, the installation of screened plant at rear second floor level; new windows to the front elevation.
2. Use of the first to fifth floors as three flats (Class C3) with external amenity areas to rear. Mansard roof extension and rear extensions at second and third floor levels to create additional residential floorspace. Alterations to the Conduit Street facade and reconfigured access arrangement including separate entrances at ground floor level to serve the residential units. Installation of new ventilation equipment.

Plan Nos: A-010 Rev P1, A-099-C Rev P1, A-100-C Rev P1, A-101-C Rev P2, A-102-C Rev P2, A-103-C Rev P3, A-104-C Rev P2, A-105-C Rev P2, A-106-C Rev P2, A-200-C Rev P2, A-201-C Rev P2, A-202 Rev P2; Design and Access Statement dated 17.6.15.

Case Officer: Paul Quayle

Direct Tel. No. 020 7641 2547

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 The three bedroom residential units shown on the approved drawings must be provided and thereafter shall be permanently retained as accommodation which (in addition to the living space) provides three separate rooms capable of being occupied as bedrooms.

Reason:

To protect family accommodation as set out in S15 of Westminster's City Plan: Strategic Policies adopted November 2013 and H 5 of our Unitary Development Plan that we adopted in January 2007. (R07DC)

- 4 You must provide the waste stores within the flats shown on the approved drawings before

anyone moves into the property. You must clearly mark them and make them available at all times to everyone using the flats. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

Reason:

To protect neighbouring residents from noise nuisance, as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 7 of our Unitary Development Plan that we adopted in January 2007. (R13FB)

- 5 You must provide each cycle parking space within the proposed flats shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 6 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- (a) A schedule of all plant and equipment that formed part of this application;
 - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
 - (c) Manufacturer specifications of sound emissions in octave or third octave detail;
 - (d) The location of most affected noise sensitive receptor location and the most affected window of it;
 - (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
 - (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when

background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;

(g) The lowest existing L A90, 15 mins measurement recorded under (f) above;

(h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;

(i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 7 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 8 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night. Inside bedrooms, 45 dB LAm_{ax} is not to be exceeded more than 15 times per night-time from sources other than emergency sirens.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 9 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 6 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 10 You must apply to us for approval of sound insulation measures and a Noise Assessment Report to demonstrate that the residential units will comply with the Council's noise criteria set out in Condition 8 of this permission. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the details approved before the residential units are occupied and thereafter retain and maintain the approved details.

Reason:

As set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007 (UDP), so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 11 A scheme of mechanical ventilation shall be provided to the residential properties hereby approved. Final details of the scheme must be submitted to and approved by the local planning authority prior to the occupation of the residential units. The approved scheme shall then be installed and maintained for as long as the flats remain. The installed mechanical ventilation system shall ensure that the internal noise levels of the residential units do not exceed the noise levels outlined in condition 8.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 12 You must provide the access for people with disabilities as shown on the approved drawing(s) and as outlined in the Design and Access Statement submitted with the application before you use the building. (C20AB)

Reason:

To make sure that there is reasonable access for people with disabilities and to make sure that the access does not harm the appearance of the building, as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (B) of our Unitary Development Plan that we adopted in January 2007. (R20AC)

- 13 You must apply to us for approval of detailed drawings and a bio-diversity management plan in relation to the green roof at rear second floor level, to include construction method, layout, species and maintenance regime.

You must not commence works on the relevant part of the development until we have approved what you have sent us. You must carry out this work according to the approved details and thereafter retain and maintain in accordance with the approved management plan.

Reason:

To increase the biodiversity of the environment, as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R43FB)

- 14 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 15 You must apply to us for approval of samples, including specifications, of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 16 You must apply to us for approval of detailed drawings (at scales 1:20 and 1:2) of the following parts of the development - new windows. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 17 You must not attach flues, ducts, soil stacks, soil vent pipes, or any other pipework other than rainwater pipes to the outside of the building unless they are shown on the approved drawings. (C26KA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 18 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or

both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 19 You must not put structures such as canopies, fences, loggias, trellises or satellite or radio antennae on the balcony. (C26OA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 20 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 Approval for this residential use has been given on the basis of facade sound insulation and ventilation mitigation measures being incorporated into the development to prevent ingress of external noise. Future residential occupiers are therefore advised that once the premises are occupied, any request under the Licensing Act 2003, Environmental Protection Act 1990, Control of Pollution Act 1974 or any relevant planning legislation for local authority officers to make an assessment for noise nuisance arising from external sources, is likely to be undertaken only if the noise and ventilation mitigation measures have been installed and are in operation, i.e. that windows are kept closed and the ventilation scheme utilised.
- 3 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

- 4 Please make sure that the street number and building name (if applicable) are clearly displayed on the building. This is a condition of the London Building Acts (Amendments) Act 1939, and there are regulations that specify the exact requirements. If you would like more information, you can contact Ray Gangadeen on 020 7641 7064. (I54AA)

DRAFT DECISION LETTER

Address: 18 Conduit Street, London, W1S 2XN,

Proposal: Use of the first to fifth floors as residential accommodation (Class C3) comprising 2 x 2 and 1 x 3 bedroom flats with external terraces/amenity areas to rear serving each flat. Mansard roof extension and rear extensions at second and third floor levels to create additional residential floorspace. Alterations to the Conduit Street facade and reconfigured access arrangement including separate entrances at ground floor level to serve the residential units. Installation of new ventilation equipment.

Plan Nos: A-010 Rev P1, A-099 Rev P1, A-100 Rev P1, A-101 Rev 01, A-102 Rev P1, A-103 Rev P1, A-104 Rev P1, A-105 Rev P1, A-106 Rev P1, A-201 Rev P1, A-251 Rev P1, A-252 Rev P1, A-253 Rev P1, A-254 Rev P1A-301 Rev P1; Design and Access Statement dated August 2015.

Case Officer: Paul Quayle

Direct Tel. No. 020 7641 2547

Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 The three bedroom residential units shown on the approved drawings must be provided and thereafter shall be permanently retained as accommodation which (in addition to the living space) provides three separate rooms capable of being occupied as bedrooms.

Reason:

To protect family accommodation as set out in S15 of Westminster's City Plan: Strategic Policies adopted November 2013 and H 5 of our Unitary Development Plan that we adopted in January 2007. (R07DC)

- 4 You must provide the waste stores within the flats shown on the approved drawings before anyone moves into the property. You must clearly mark them and make them available at all times to everyone using the flats. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other

purpose. (C14DC)

Reason:

To protect neighbouring residents from noise nuisance, as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 7 of our Unitary Development Plan that we adopted in January 2007. (R13FB)

- 5 You must provide each cycle parking space within the proposed flats shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 6 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing L A90, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 7 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 8 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night. Inside bedrooms, 45 dB LAm_{ax} is not to be exceeded more than 15 times per night-time from sources other than emergency sirens.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 9 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 6 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 10 You must apply to us for approval of sound insulation measures and a Noise Assessment Report to demonstrate that the residential units will comply with the Council's noise criteria set out in Condition 8 of this permission. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the details approved before the residential units are occupied and thereafter retain and maintain the approved details.

Reason:

As set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007 (UDP), so that the noise environment of people in noise sensitive

properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 11 A scheme of mechanical ventilation shall be provided to the residential properties hereby approved. Final details of the scheme must be submitted to and approved by the local planning authority prior to the occupation of the residential units. The approved scheme shall then be installed and maintained for as long as the flats remain. The installed mechanical ventilation system shall ensure that the internal noise levels of the residential units do not exceed the noise levels outlined in condition 8.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 12 You must provide the access for people with disabilities as shown on the approved drawing(s) and as outlined in the Design and Access Statement submitted with the application before you use the building. (C20AB)

Reason:

To make sure that there is reasonable access for people with disabilities and to make sure that the access does not harm the appearance of the building, as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (B) of our Unitary Development Plan that we adopted in January 2007. (R20AC)

- 13 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 14 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 15 You must apply to us for approval of samples, including specifications, of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the

character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 16 You must apply to us for approval of detailed drawings (at scales 1:20 and 1:2) of the following parts of the development:

- i) external doors;
- ii) windows and rooflights;
- iii) balconies;
- iv) railings;
- v) balustrades.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Mayfair Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 17 You must not attach flues, ducts, soil stacks, soil vent pipes, or any other pipework other than rainwater pipes to the outside of the building unless they are shown on the approved drawings. (C26KA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 18 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

- 19 You must not put structures such as canopies, fences, loggias, trellises or satellite or radio antennae on the balcony. (C26OA)

Reason:

Because these would harm the appearance of the building, and would not meet S25 or S28, or both, of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 of our Unitary Development Plan that we adopted in January 2007. (R26HC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National

Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 Approval for this residential use has been given on the basis of facade sound insulation and ventilation mitigation measures being incorporated into the development to prevent ingress of external noise. Future residential occupiers are therefore advised that once the premises are occupied, any request under the Licensing Act 2003, Environmental Protection Act 1990, Control of Pollution Act 1974 or any relevant planning legislation for local authority officers to make an assessment for noise nuisance arising from external sources, is likely to be undertaken only if the noise and ventilation mitigation measures have been installed and are in operation, i.e. that windows are kept closed and the ventilation scheme utilised.
- 3 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

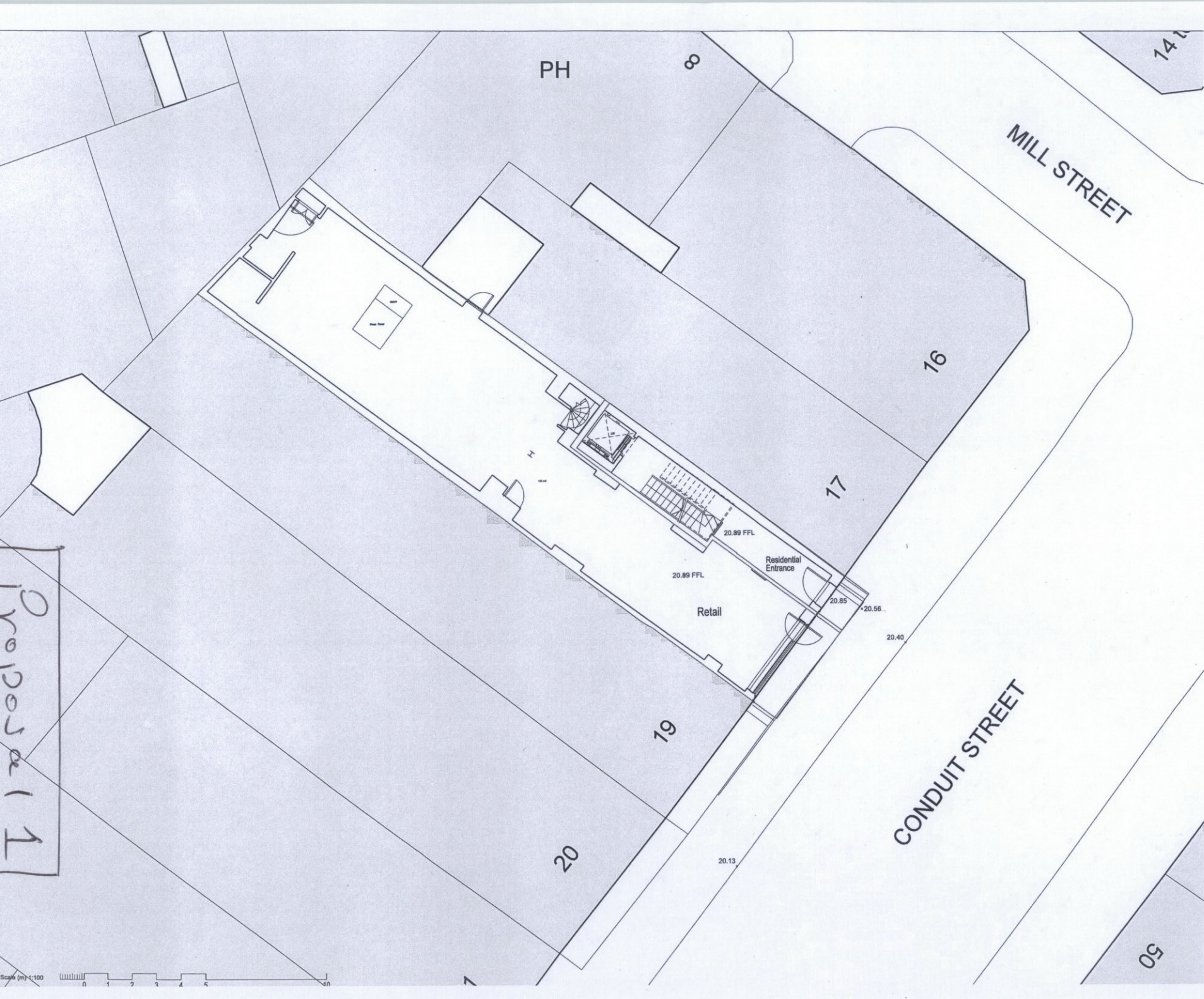
Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

- 4 Please make sure that the street number and building name (if applicable) are clearly displayed on the building. This is a condition of the London Building Acts (Amendments) Act 1939, and there are regulations that specify the exact requirements. If you would like more information, you can contact Ray Gangadeen on 020 7641 7064. (I54AA)



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Do not scale dimensions.
 Dimensions govern.
 All dimensions are in millimetres unless noted otherwise.
 Pilbrow & Partners shall be notified in writing of any discrepancies.

P1	17/06/2015	Planning application	SW	FP
Rev.	Date	Notes	Drawn Insp.	By
Revisions				

Pilbrow & Partners

2-6 St. John's Square
 London EC1M 4DE
 t: +44 (0) 20 3696 7000
 e: info@pilbrowandpartners.com
 www.pilbrowandpartners.com

— Application Boundary
 — Ownership Boundary

Project Name
 18 Conduit Street

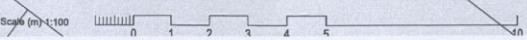
Status
 Planning Application

Drawing Title
 First Floor Plan
 Proposed Scheme C

Ground

Drawing Number
 A-100-C

Scale 1:100
 Sheet Size A2
 Creation Date 17-06-2015
 Revision
 P1





Do not scale dimensions.
Dimensions govern.
All dimensions are in millimetres unless noted otherwise.
Pilbrow & Partners shall be notified in writing of any discrepancies.

P2	23/07/2015	Cycle parking revised	SW	FP
P1	17/05/2015	Planning application	SW	FP
Rev.	Date	Notes	Drawn Insp. By	By
Revisions				

Pilbrow & Partners

Unit 2.1
2-6 Northburgh Street
London EC1V 0AY

t: +44 (0) 20 3696 7000
e: info@pilbrowandpartners.com
www.pilbrowandpartners.com

— Application Boundary
— Ownership Boundary

Project Name
3 Orme Square

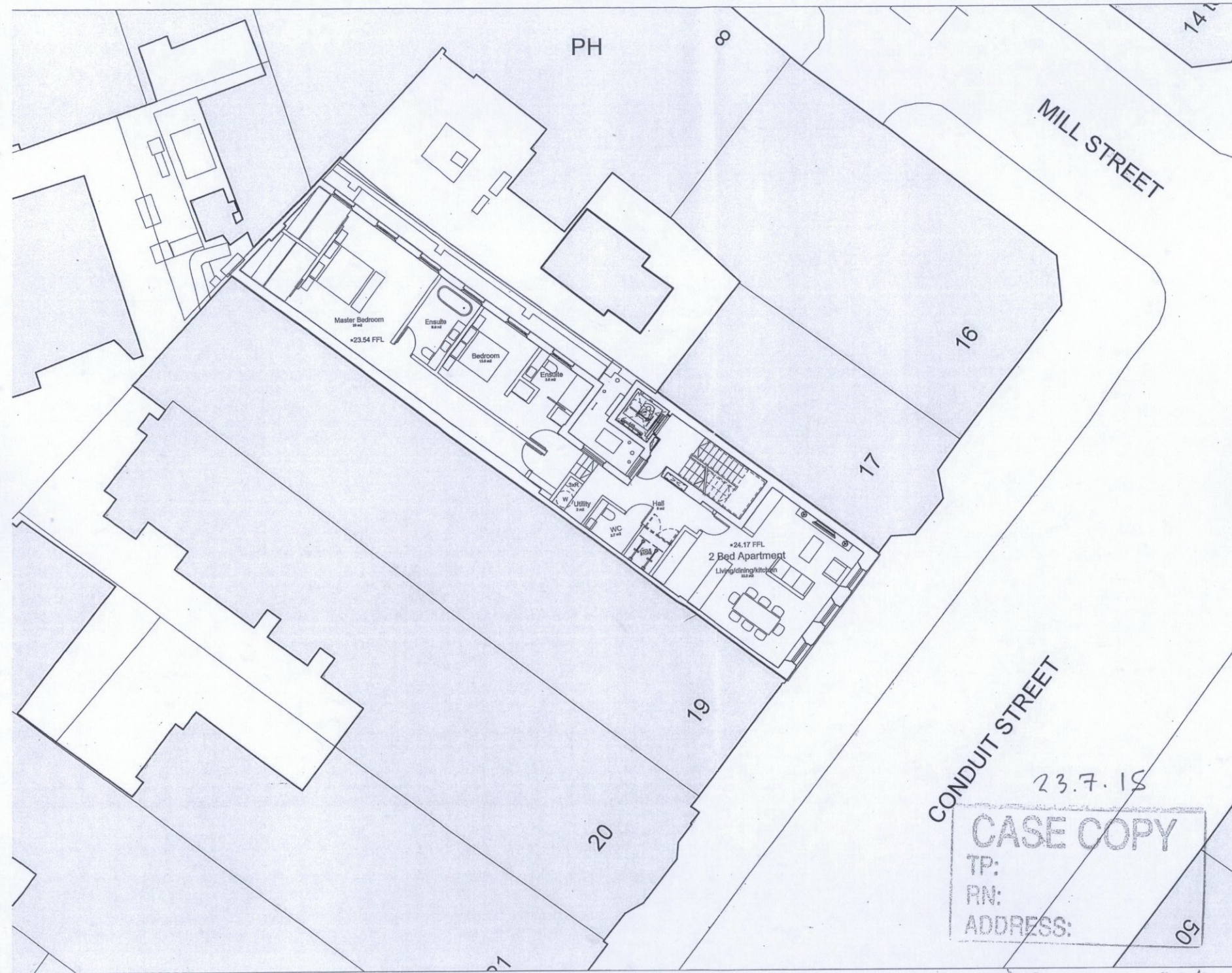
Status
For Coordination

Drawing Title
First Floor Plan
Proposed

Drawing Number
A-101-C

Scale 1:100
Sheet Size A2
Creation Date 17-06-2015

Revision
P2

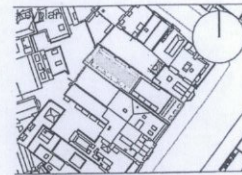


CONDUIT STREET

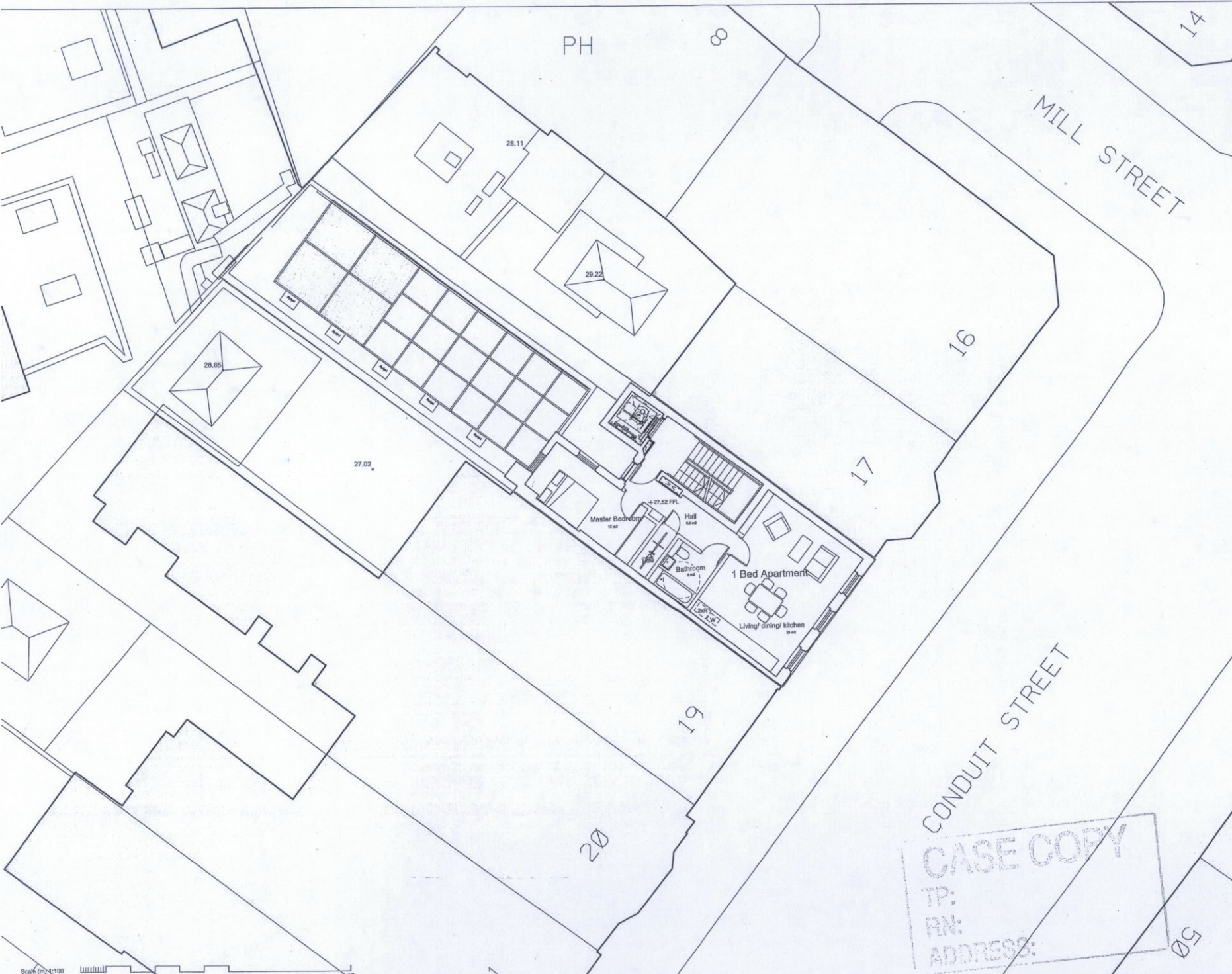
23.7.15

CASE COPY
 TP:
 RN:
 ADDRESS:

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Do not scale dimensions.
 Dimensions govern.
 All dimensions are in millimetres unless noted otherwise.
 Pilbrow & Partners shall be notified in writing of any discrepancies.



P2	22/09/2015	Balconies removed	SW	KG
P1	17/06/2015	Planning application	SW	FP
Rev.	Date	Notes	Drawn By	Insp. By
Revisions				

Pilbrow & Partners

2-5 St. John's Square
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 e: info@pilbrowandpartners.com
 www.pilbrowandpartners.com

— Application Boundary
 — Ownership Boundary

Project Name
 18 Conduit Street

Status
 Planning Application

Drawing Title
 Second Floor Plan
 Proposed

Drawing Number
 A-102-C

Scale
 1:100
 Sheet Size
 A2
 Creation Date
 17-06-2015

Revision
 P2

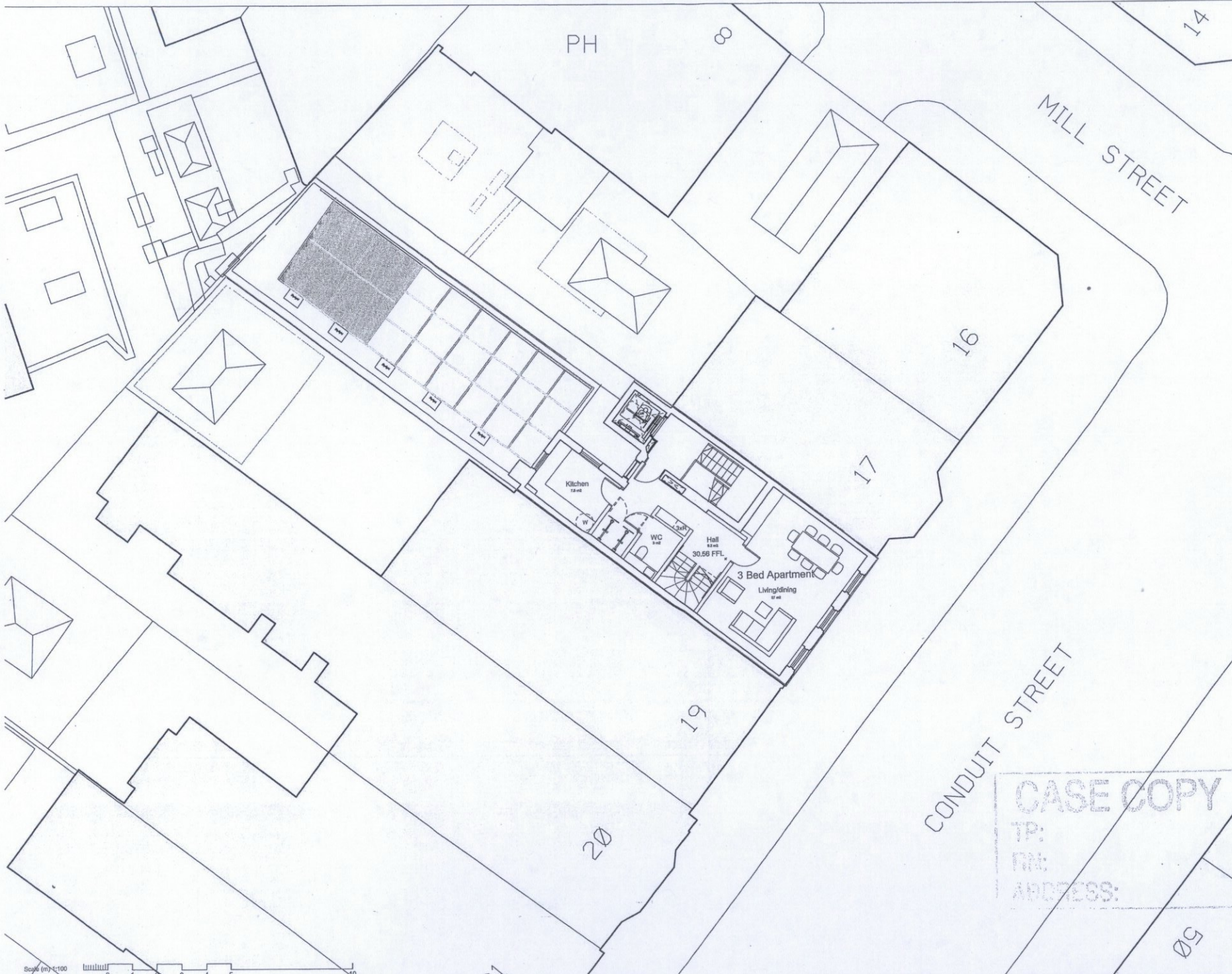
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 RN:
 ADDRESS:

Scale (m) 1:100



Do not scale dimensions.
 Dimensions govern.
 All dimensions are in millimetres unless noted otherwise.
 Pilbrow & Partners shall be notified in writing of any discrepancies.



P3	22/09/2015	Balconies removed	SW	KG
P2	23/07/2015	Cycle parking revised	SW	FP
P1	17/06/2015	Planning application	SW	FP

Rev.	Date	Notes	Drawn By	Insp. By
Revisions				

Pilbrow & Partners

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 www.pilbrowandpartners.com

— Application Boundary
 — Ownership Boundary

Project Name
 18 Conduit Street

Status
 Planning Application

Drawing Title
 Third Floor Plan
 Proposed Scheme C

Drawing Number
 A-103-C

Scale
 1:100

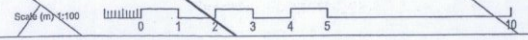
Sheet Size
 A2

Creation Date
 17-06-2015

Revision
 P3

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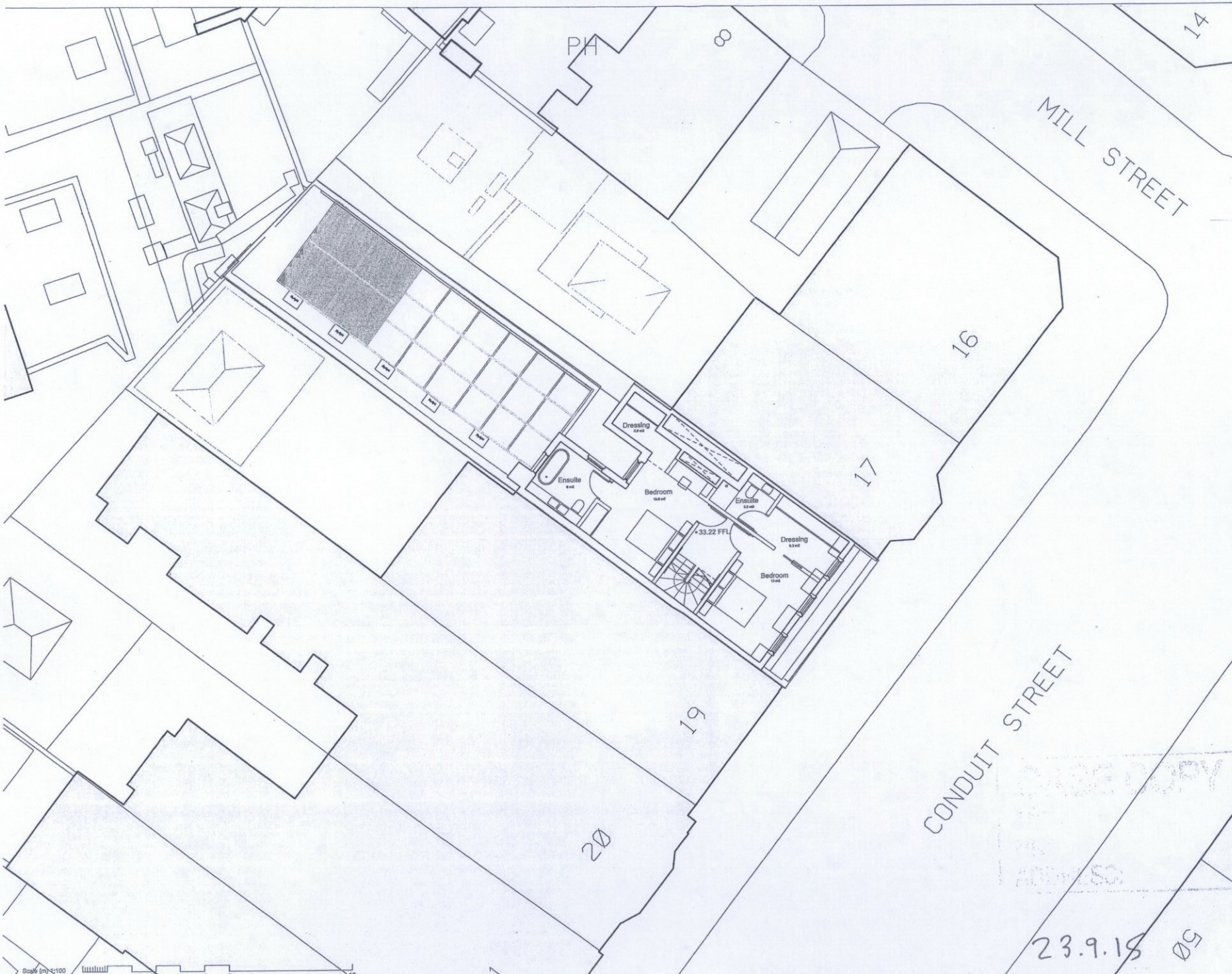
CASE COPY
 TP:
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2 2 9 1 <



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P2	22/09/2015	Balconies removed	SW	KG
P1	17/06/2015	Planning application	SW	FP
Rev.	Date	Notes	Drawn By	Insp. By
Revisions				

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— Application Boundary
— Ownership Boundary

Project Name
18 Conduit Street

Status
Planning Application
Drawing Title
Fourth Floor Plan
Proposed Scheme C

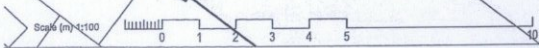
Drawing Number
A-104-C

Scale 1:100
Sheet Size A2
Creation Date 17-06-2015
Revision P2

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P2	22/09/2015	Balconies removed	SW	KG
P1	17/08/2015	Planning application	SW	FP
Rev.	Date	Notes	Drawn Insp.	By
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— Application Boundary
— Ownership Boundary

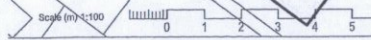
Project Name
18 Conduit Street

Status
Planning Application
Drawing Title
Fifth Floor Plan
Proposed

Drawing Number
A-105-C

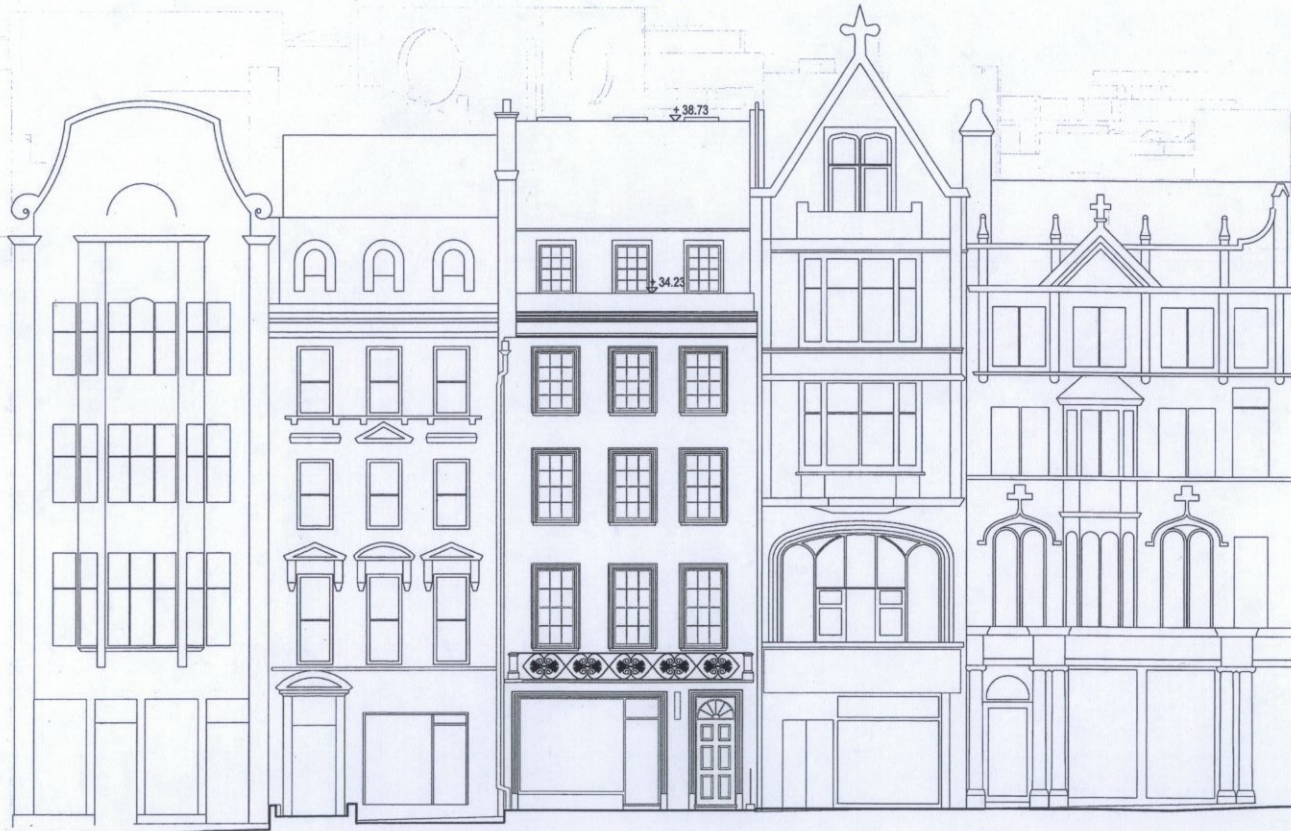
Scale 1:100
Sheet Size A2
Creation Date 17-06-2015
Revision P2

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P1 17/06/2015 Planning Application TB FP

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Project Name
18 Conduit Street

Status
Planning Application

Drawing Title
Front Elevation as Proposed

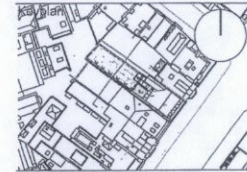
Drawing Number
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Scale 1:100
Sheet Size A2
Creation Date 17-06-2015

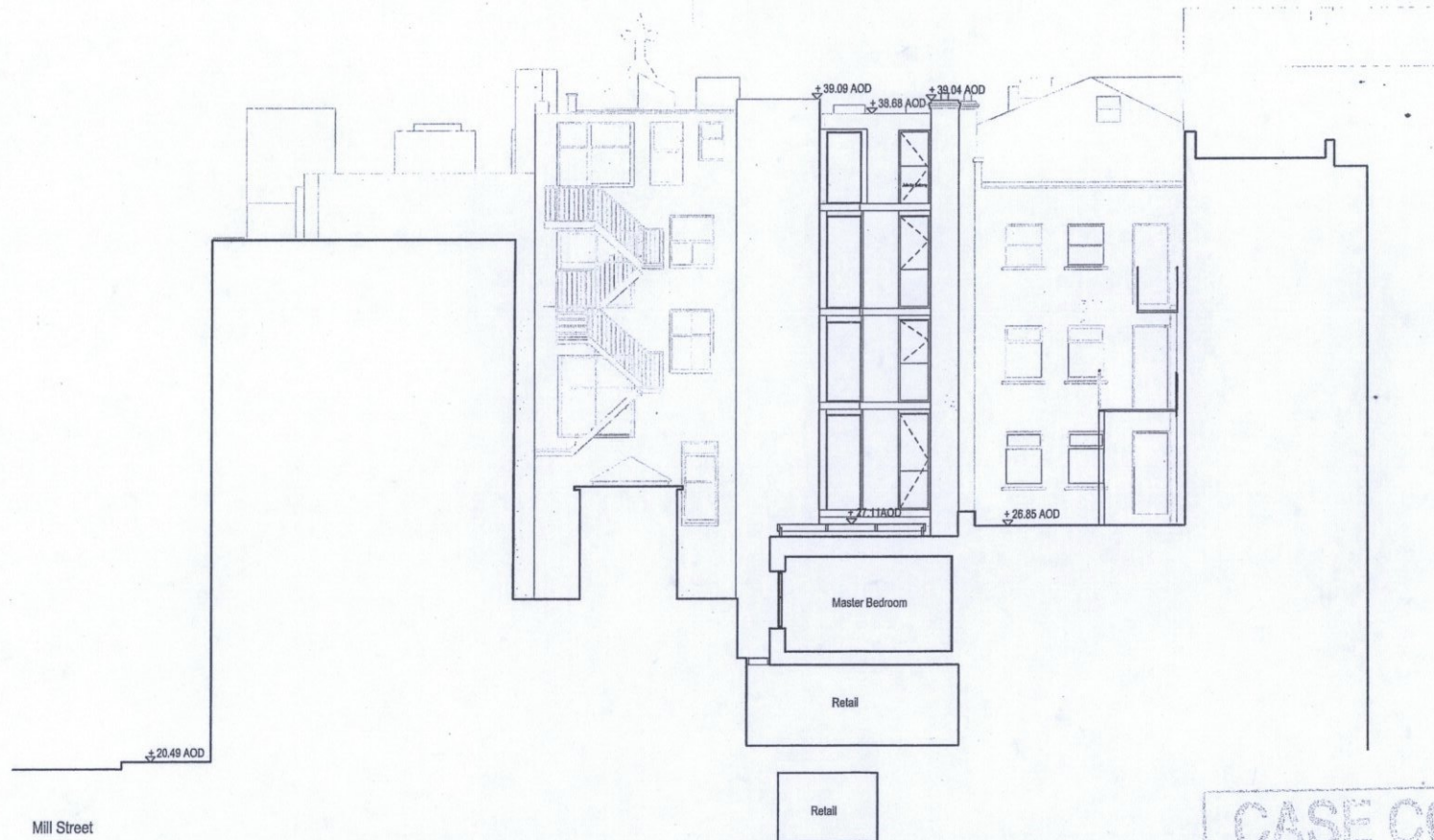
Revision
P1

21 Conduit Street | 20 Conduit Street | 19 Conduit Street | 18 Conduit Street | 17 Conduit Street | 16 Conduit Street | Mill Street

Scale (m) 1:100
0 1 2 3 4 5 10



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P2	22/09/2015	Balconies removed	SW	KG
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Project Name
 18 Conduit Street

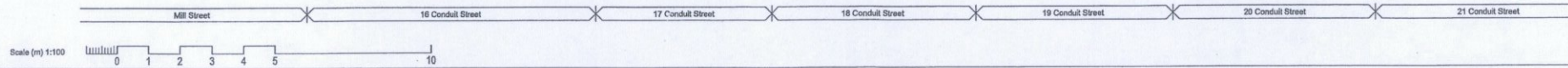
Status
 Planning Application
 Drawing Title
 Rear section as proposed

Drawing Number
 A-200-C

Scale
 1:100
 Street Size
 A2
 Creation Date
 17-06-2015

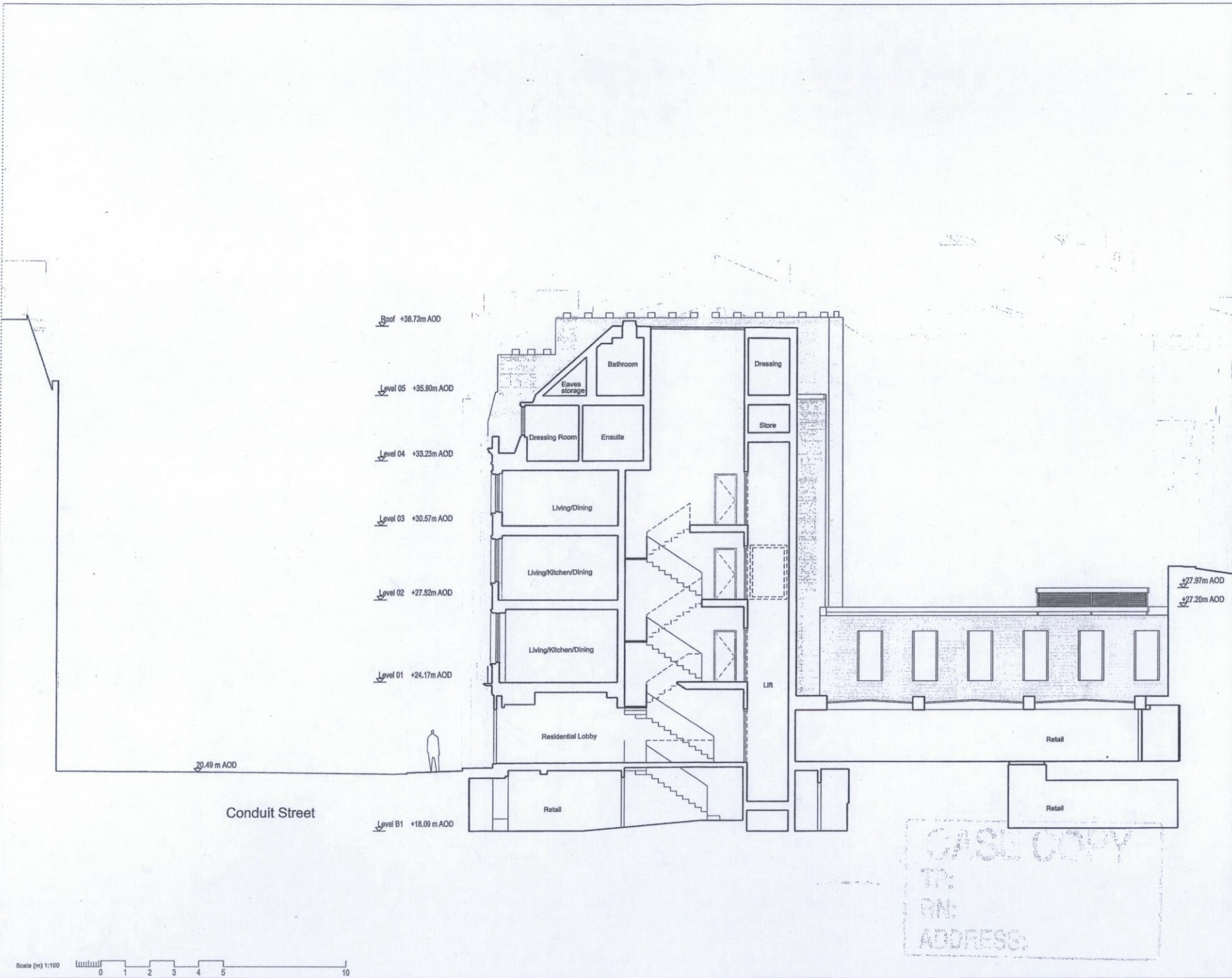
Revision
 P2

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P1	17/06/2015	Planning Application	TB	FP

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Project Name
18 Conduit Street

Status
Planning Application

Drawing Title
Section BB as proposed

Drawing Number
A-201-C

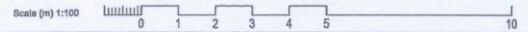
Scale
 1:100

Sheet Size
 A2

Creation Date
 17/06-2015

Revision
P2

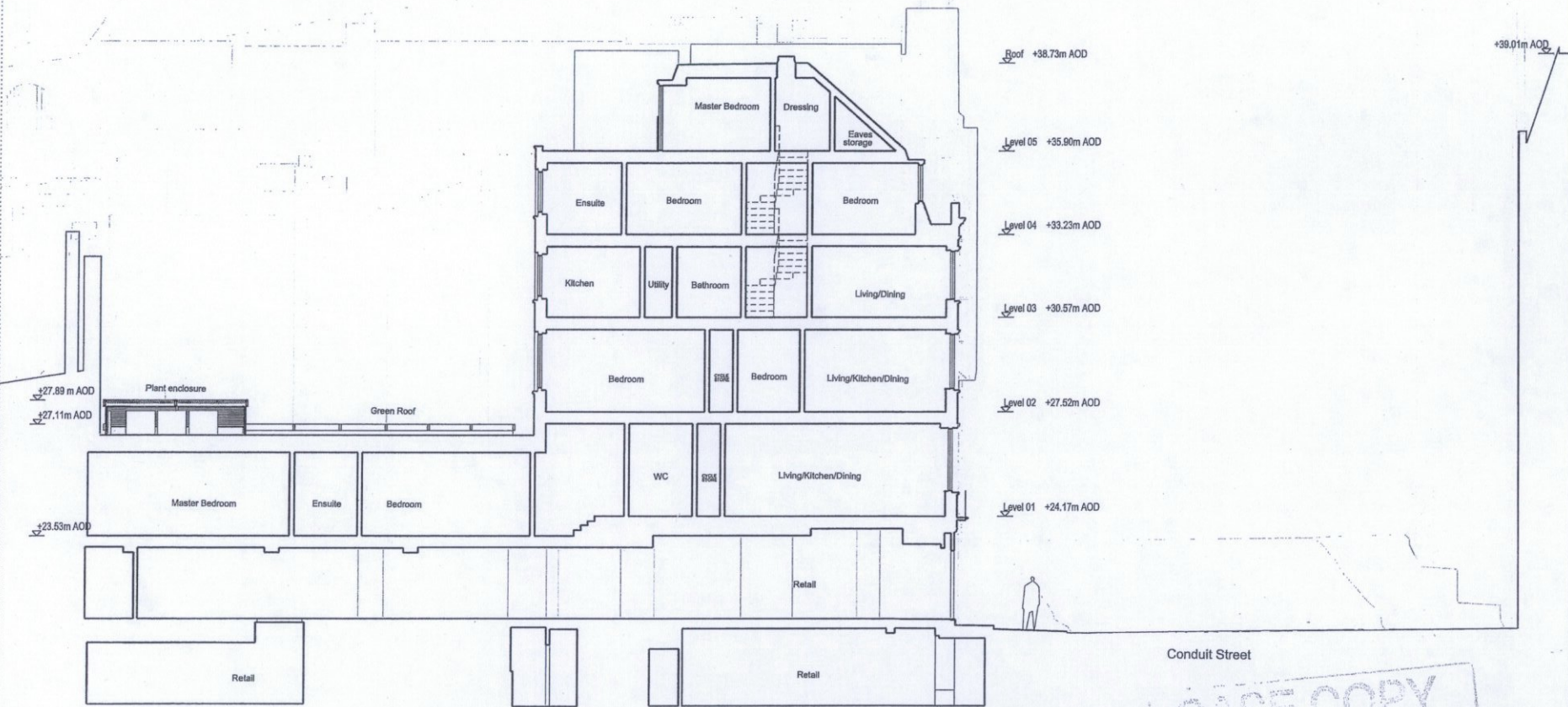
CASL COPY
 TP:
 RM:
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0 3 9 15



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P2	22/09/2015	Balconies removed	SW KG
P1	17/08/2015	Planning Application	TB FP

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Project Name
 18 Conduit Street

Status
 Planning Application

Drawing Title
 Section CC as proposed

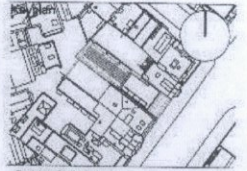
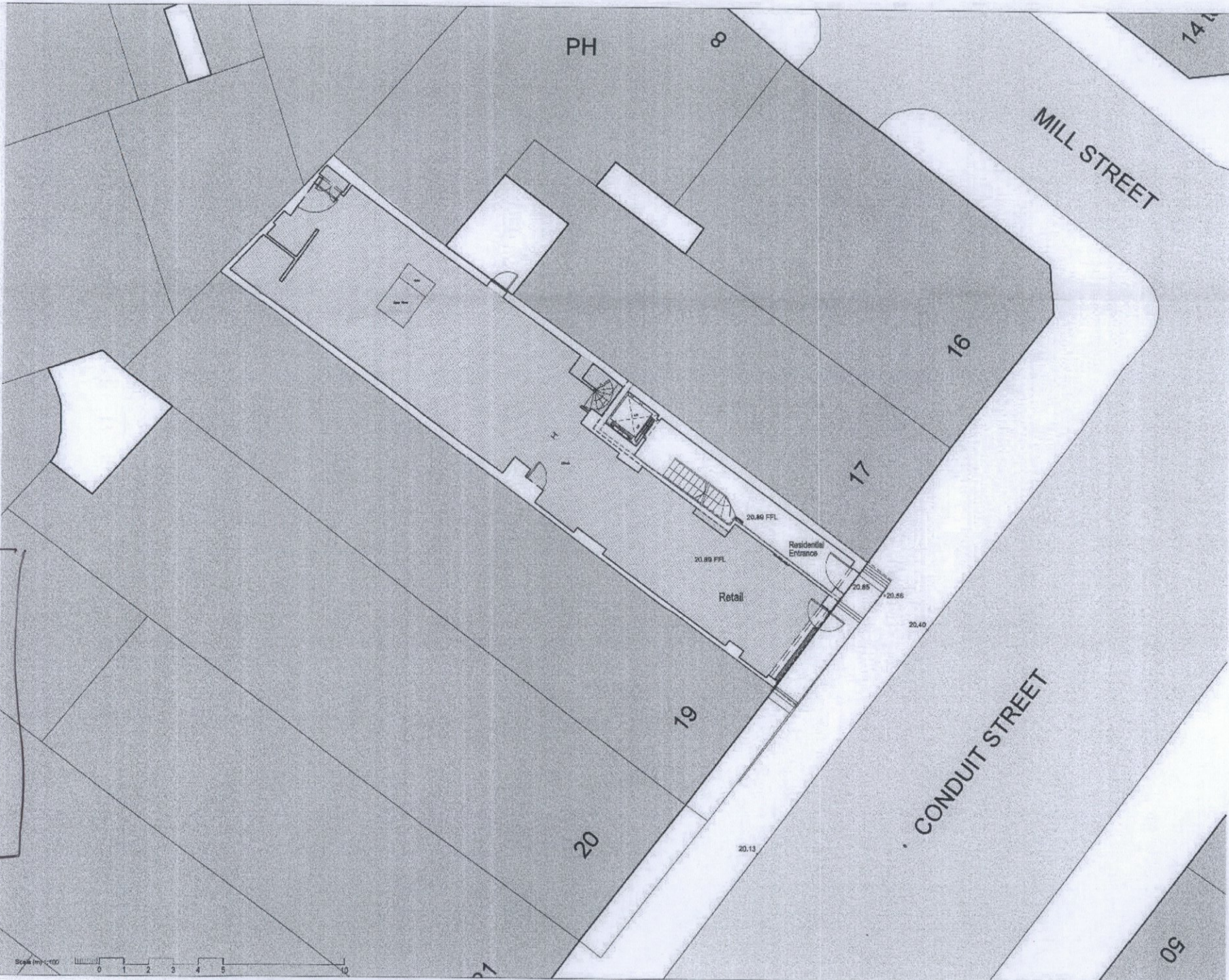
Drawing Number
 A-202

Scale 1:100
 Sheet Size A2
 Creation Date 17-08-2015

Revision
 P2

CASE COPY
 TP:
 RN:
 ADDRESS:
 23.9.15

Scale (m) 1:100
 0 1 2 3 4 5 10



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Proposal 2

PI	10/06/2015 Planning Application	SW	KG
Rev.	Date	Notes	Drawn Insp. By
Revisions			

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- Application Boundary
- Ownership Boundary

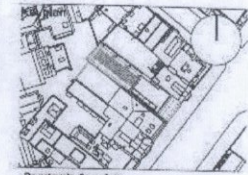
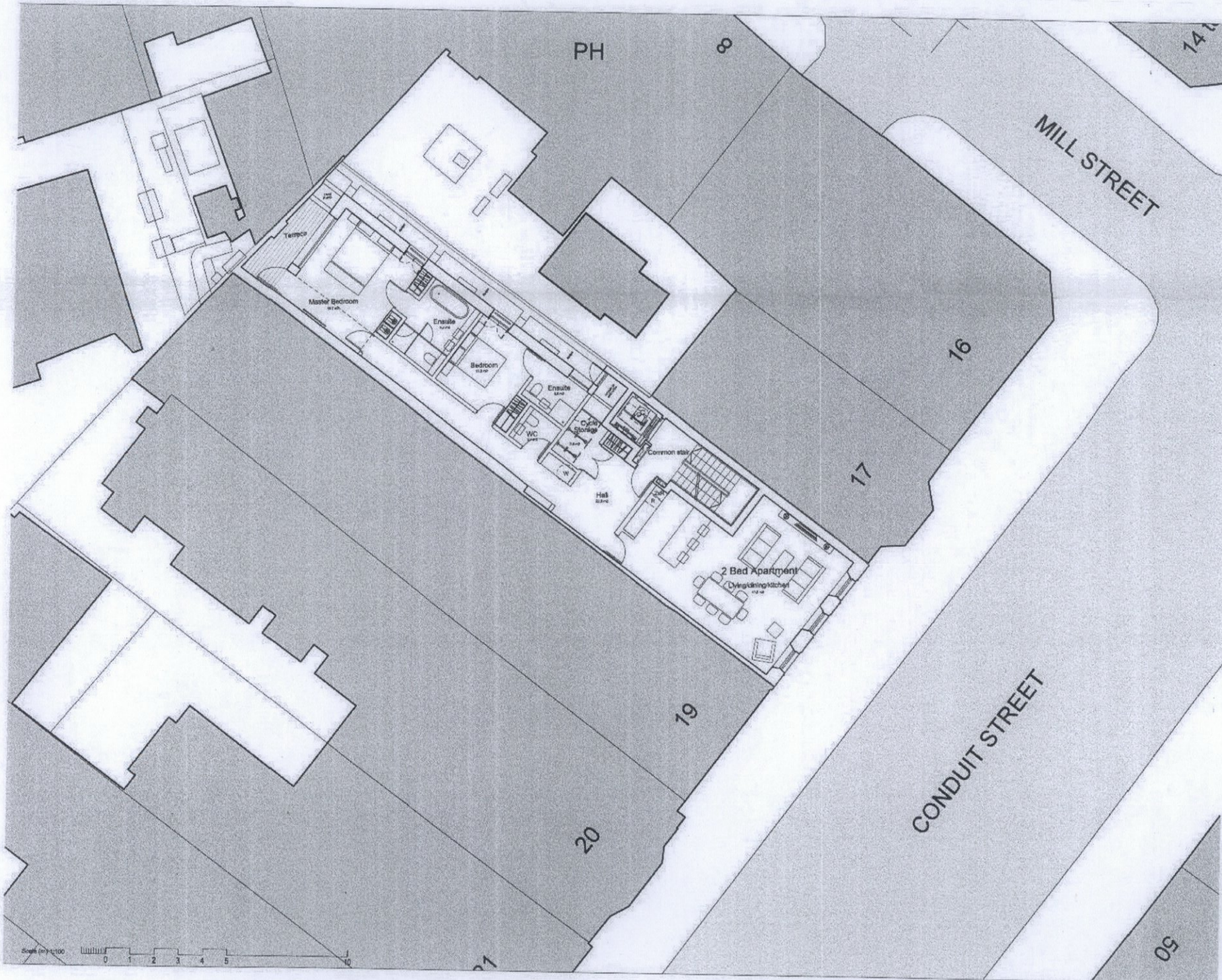
Project Name
18 Conduit Street

Status
Planning Application

Drawing Title
Ground Floor Plan Proposed

Drawing Number
A-100

Scale 1:100
 Sheet Size A2
 Creation Date 10-06-2015
 Revision
P1



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Application Boundary

Project Name
18 Conduit Street

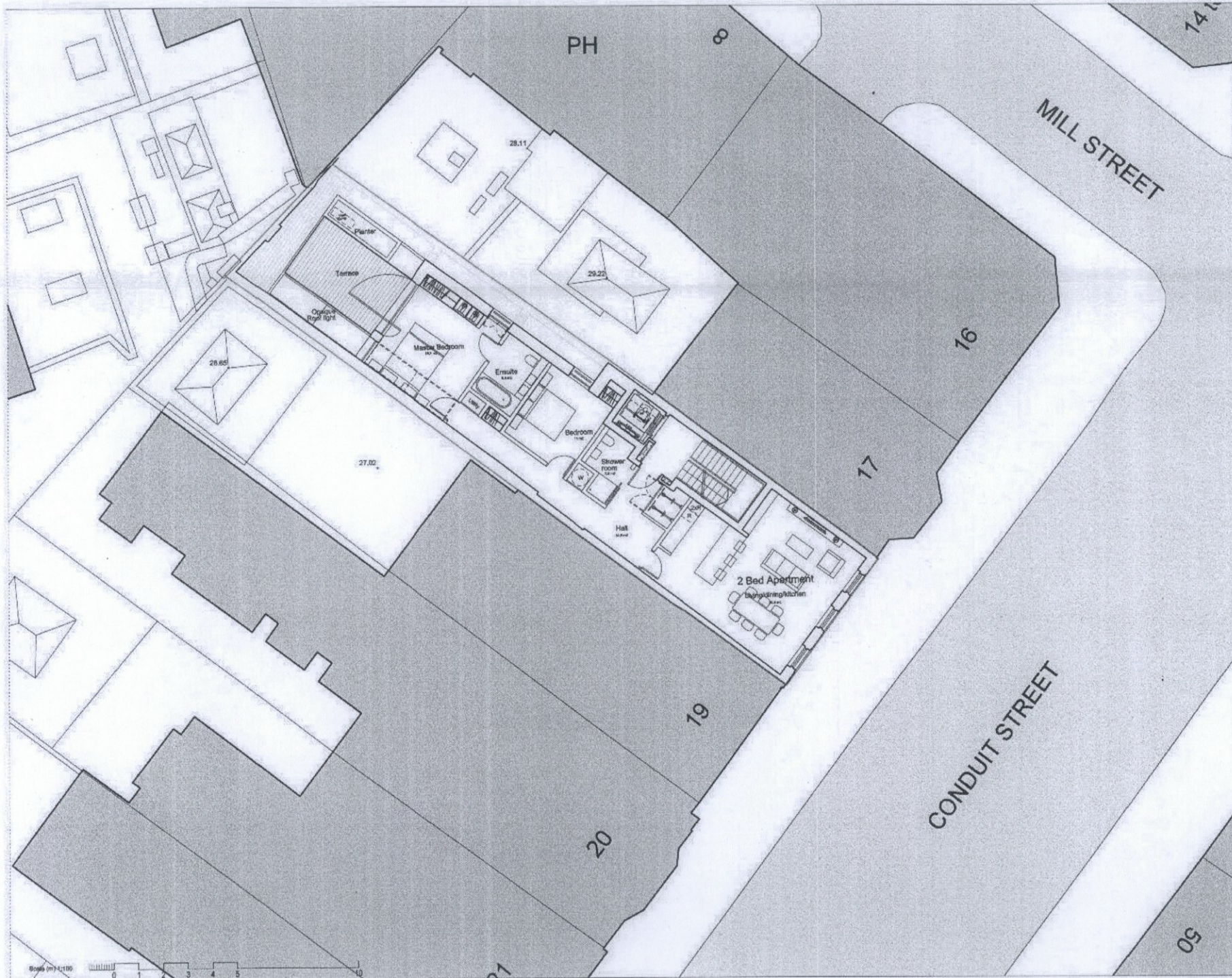
Status
Planning Application
Drawing Title
First Floor Plan
as proposed

Drawing Number
A-101

Scale
Sheet Size
Creation Date

Revision
01

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Revisions				

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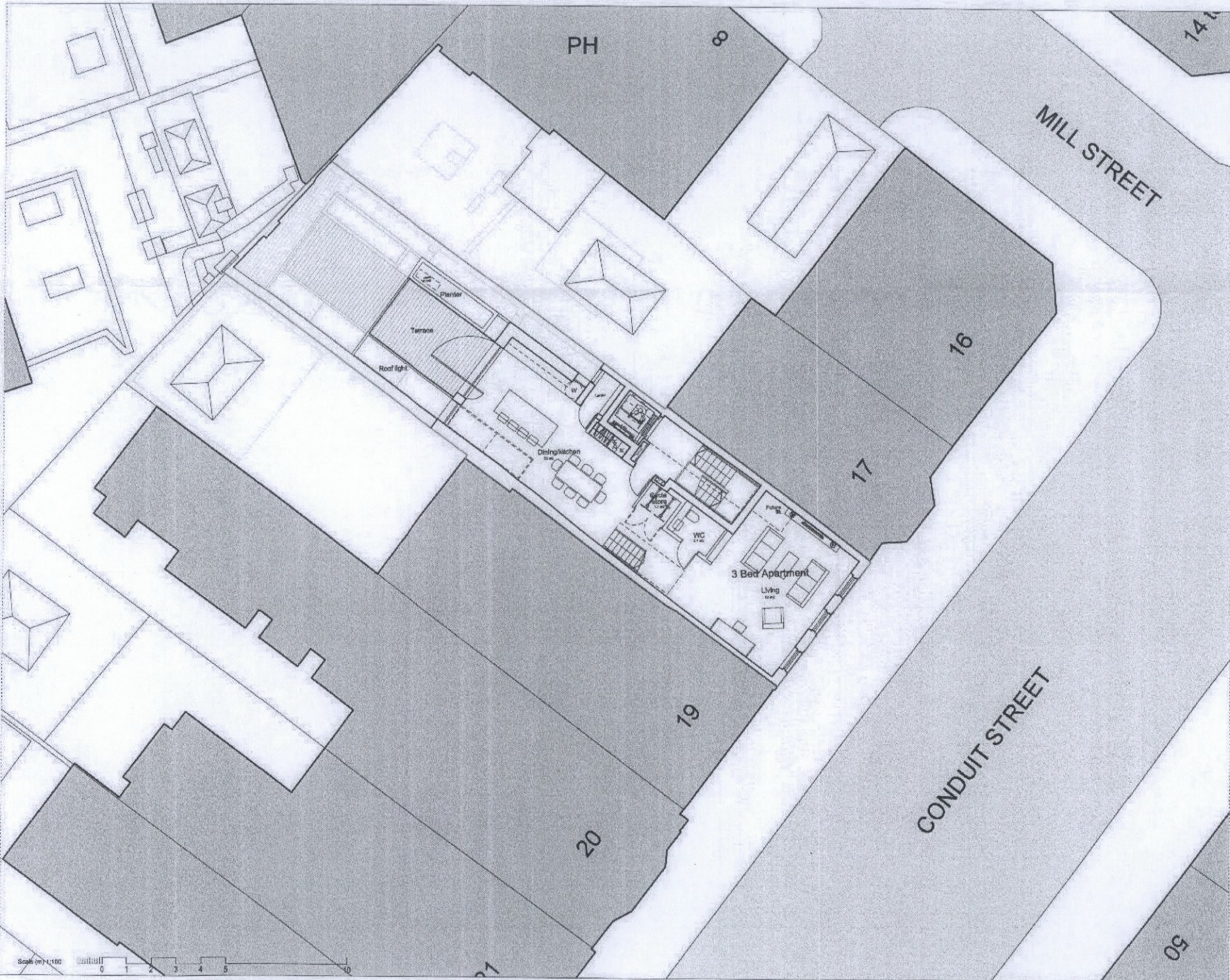
Project Name
 18 Conduit Street

Status
 Planning Application

Drawing Title
 Second Floor Plan
 as proposed

Drawing Number
 A-102

Scale 1:100
 Sheet Size A2
 Creation Date 10-09-2015
 Revision P1



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P1	10/09/2015 Planning Application	SW	KG
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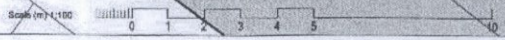
Project Name
 18 Conduit Street

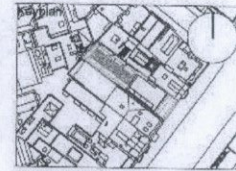
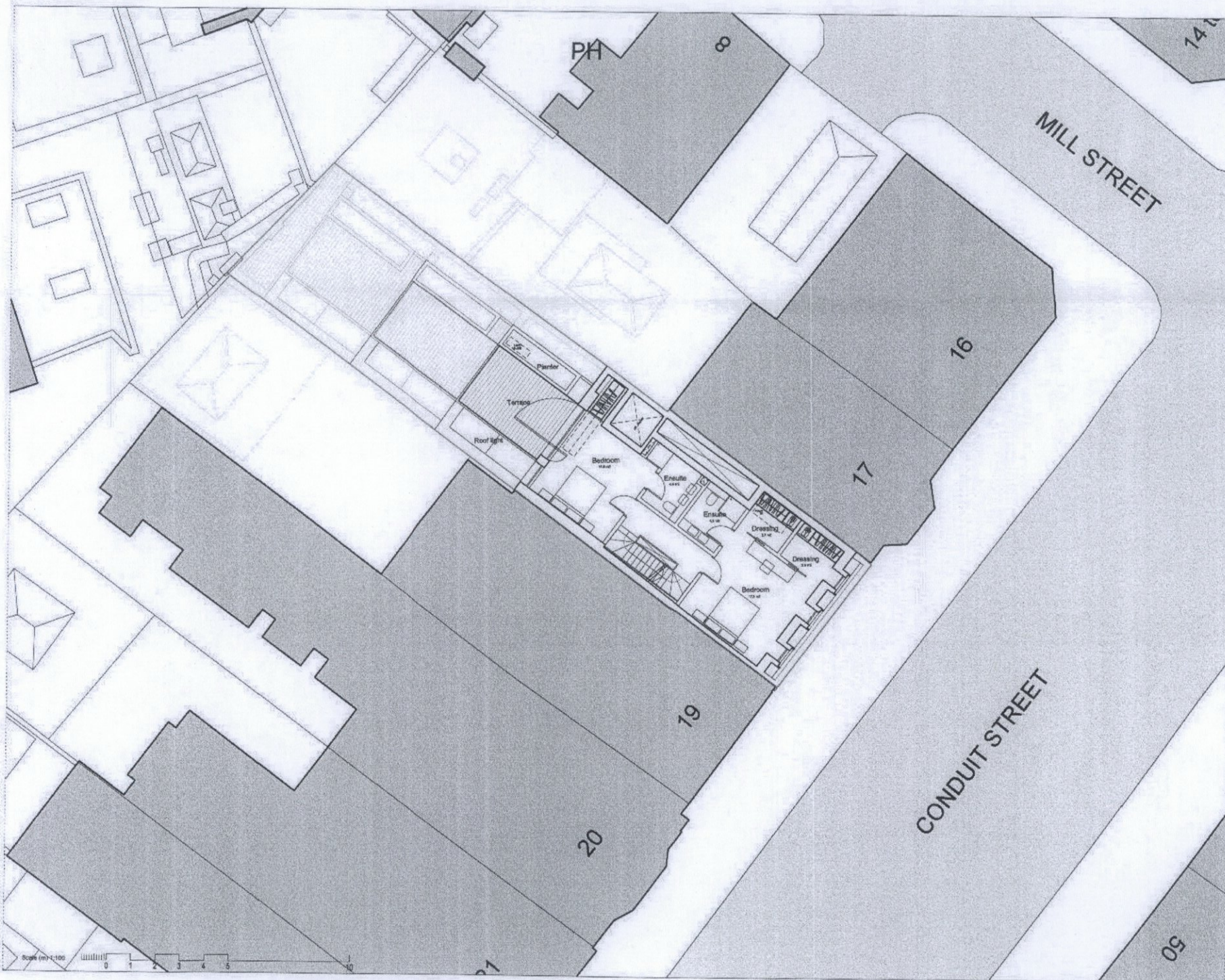
Status
 Planning Application

Drawing Title
 Third Floor Plan
 Proposed

Drawing Number
 A-103

Scale 1:100
 Sheet Size A2
 Creation Date 10-09-2015
 Revision
 P1





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P1	10/08/2015	Planning Application	BW	KG
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			By	By
Revised				

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— Application Boundary

Project Name
 18 Conduit Street

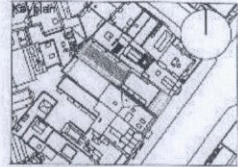
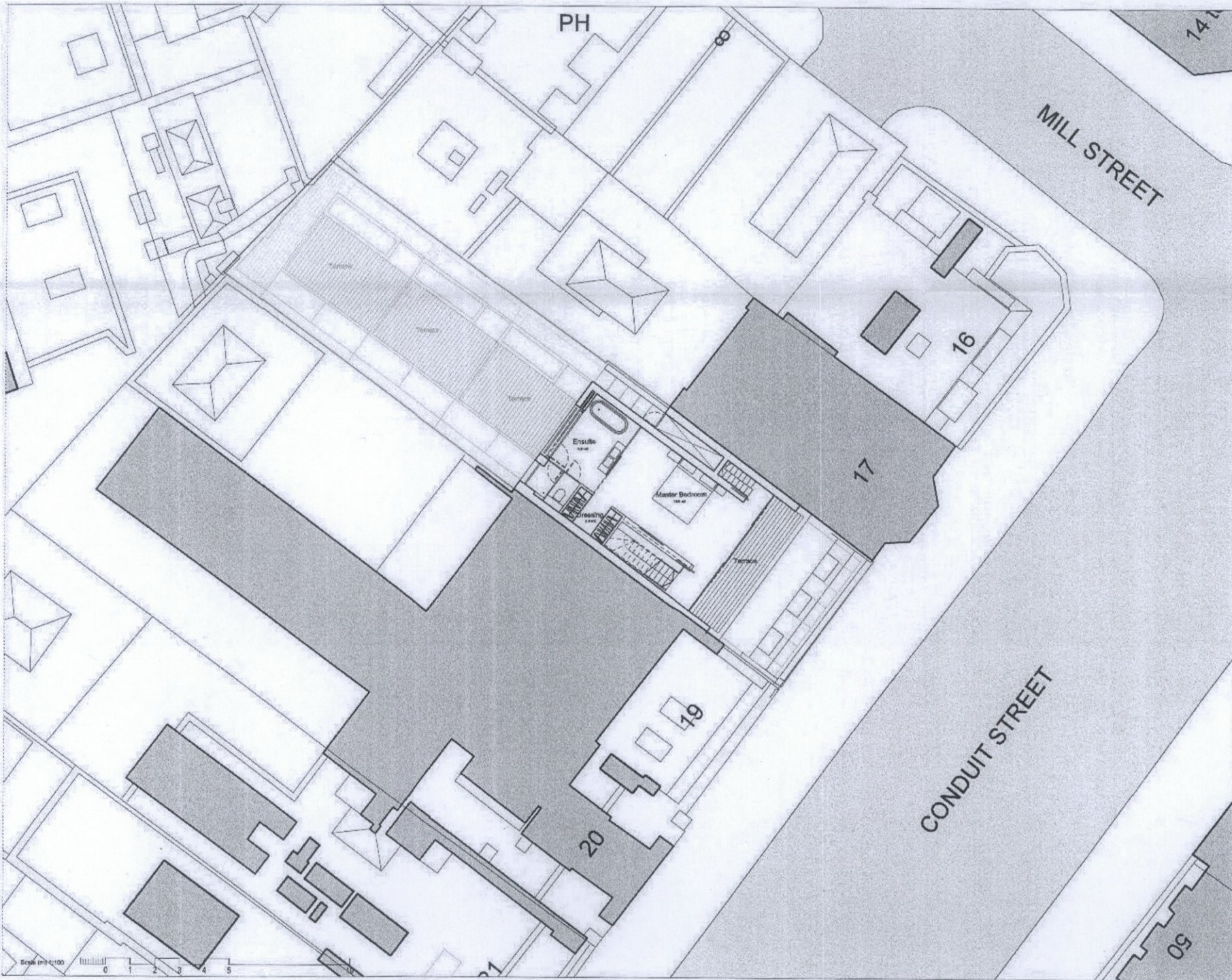
Status
 Planning Application

Drawing Title
 Fourth Floor Plan
 Proposed

Drawing Number
 A-104

Scale 1:100
 Sheet Size A2
 Creation Date 10-08-2015

Revision
 P1



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P1	10/08/2015 Planning Application	SW	K3
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Revisions			

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Application Boundary

Project Name
18 Conduit Street

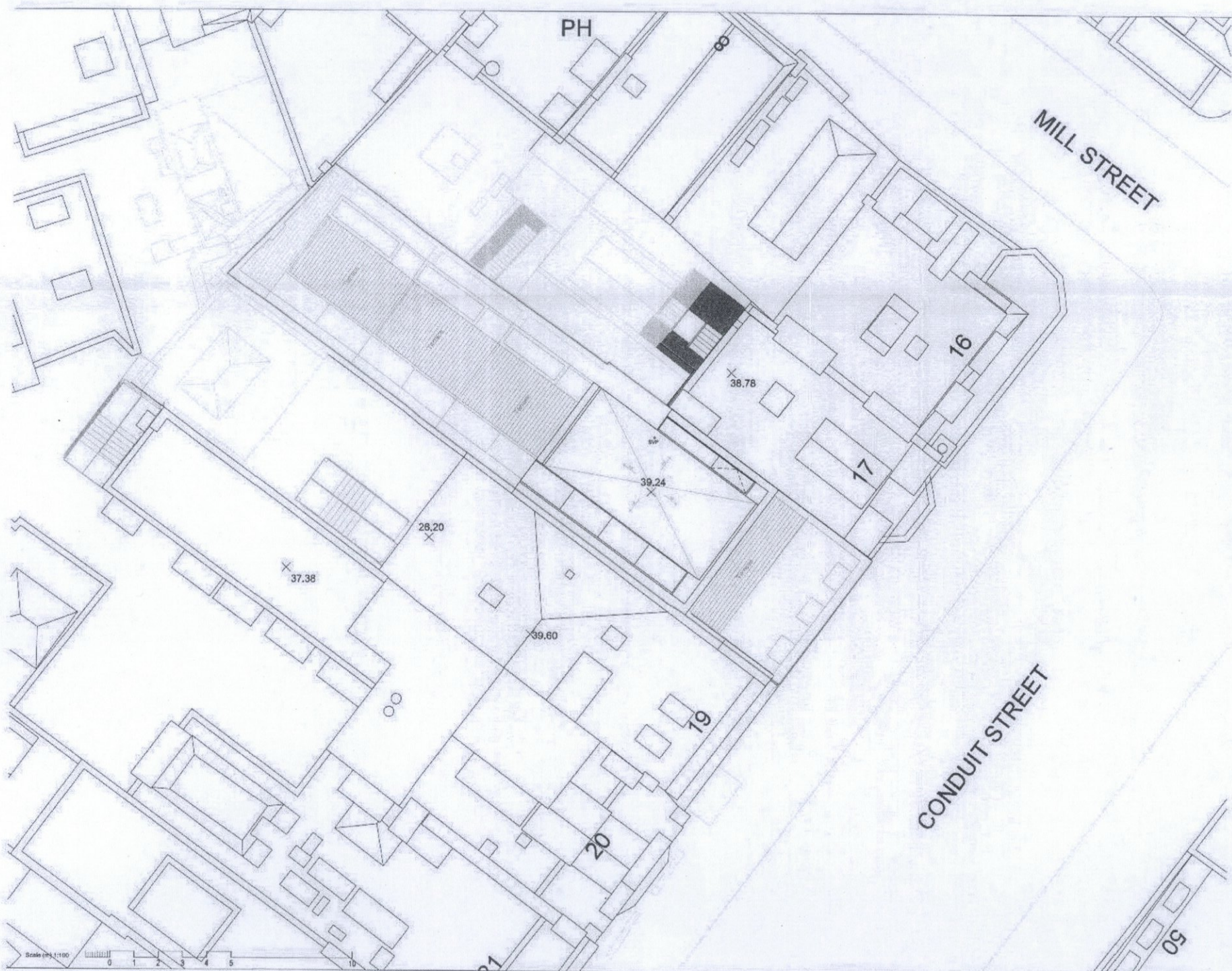
Status
Planning Application

Drawing Title
**Fifth Floor Plan
 Proposed**

Drawing Number
A-105

Scale 1:100
 Sheet Size A2
 Creation Date 10-08-2015

Revision
P1



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MILL STREET

CONDUIT STREET

P1	10/09/2015	Planning Application	SW	HG
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Application Boundary

Project Name
18 Conduit Street

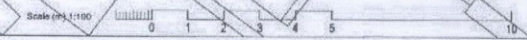
Status
Planning Application

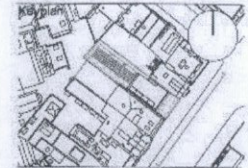
Drawing Title
Roof Plan
as proposed

Drawing Number
A-106

Scale 1:100
Sheet Size A2
Creation Date 10-09-2015
Revision P1

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Project Name
18 Conduit Street

Scope
Planning Application

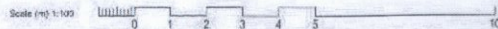
Drawing Title
Front elevation as proposed

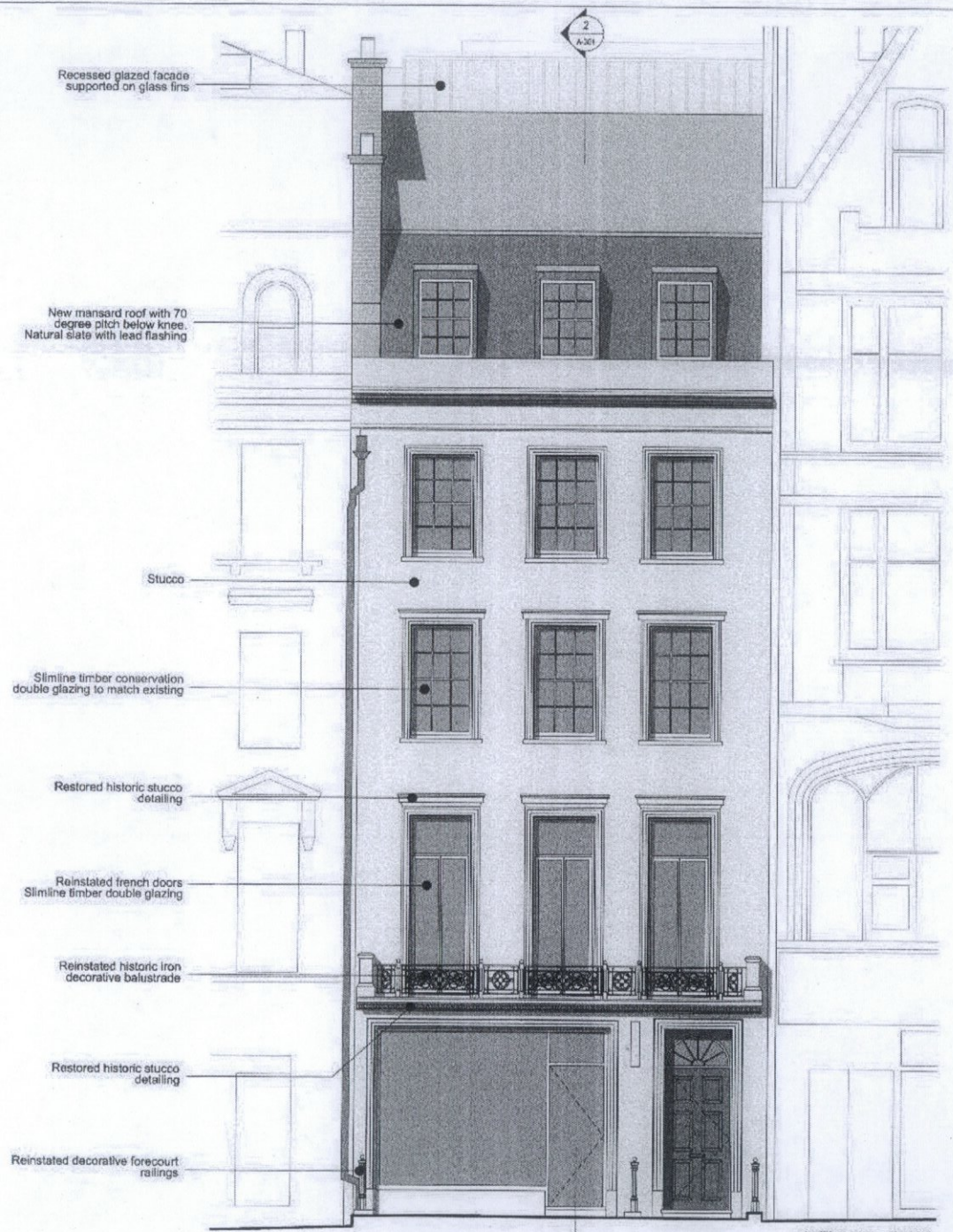
Drawing Number
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Scale 1:100
Sheet Size A2
Creation Date 10/08/2015

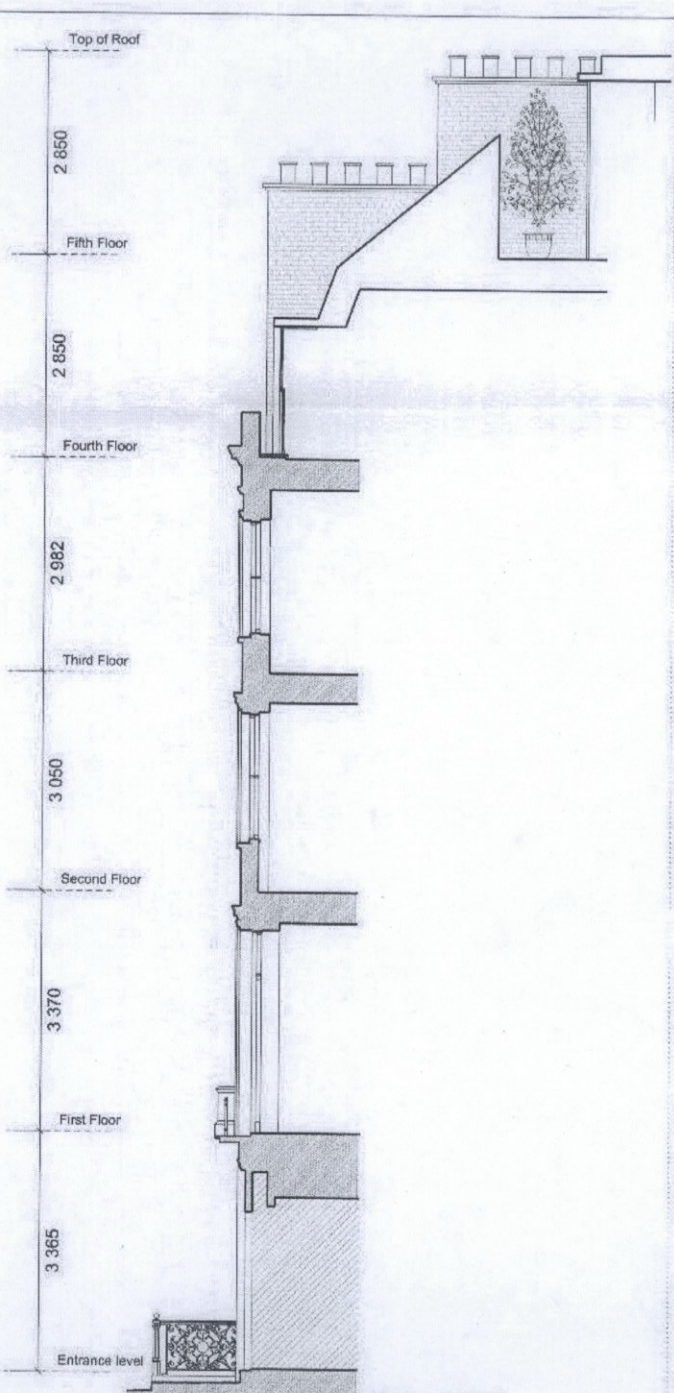
Revision
P1

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1 Elevation Detail
Scale 1:50



2 Section Detail
Scale 1:50



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18 Conduit Street

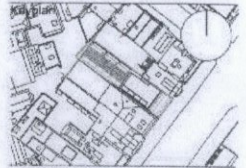
Status
Planning Application

Drawing Title
**Front elevation details
As proposed**

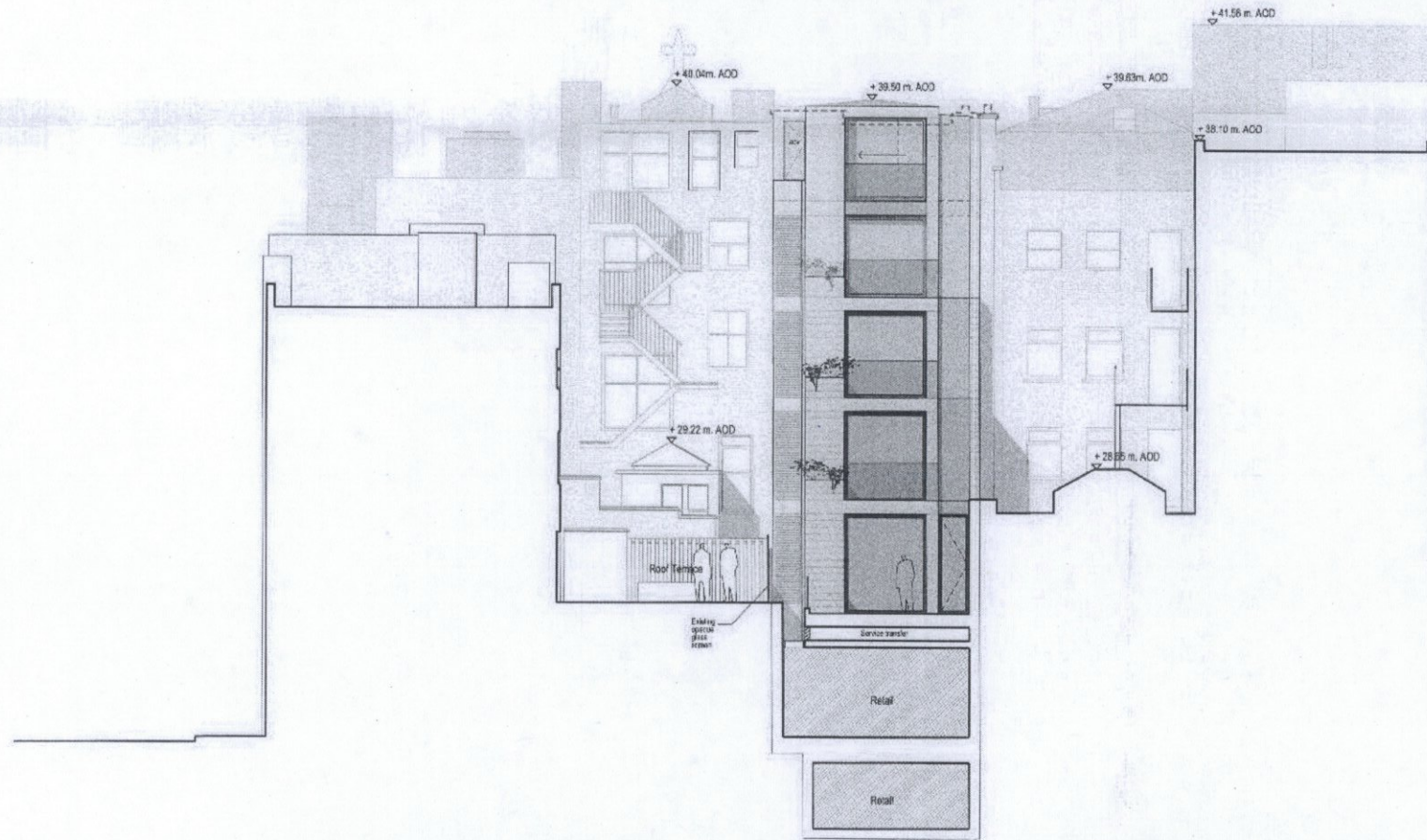
Drawing Number
A-301

Scale 1:50
Sheet Size A2
Creation Date 10-08-2015

Revision
P1



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- Existing building outline
- Retail demise not included in application

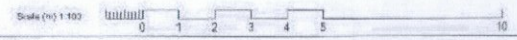
Project Name
18 Conduit Street

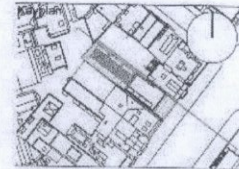
Status
Planning Application

Drawing Title
Section CC as proposed

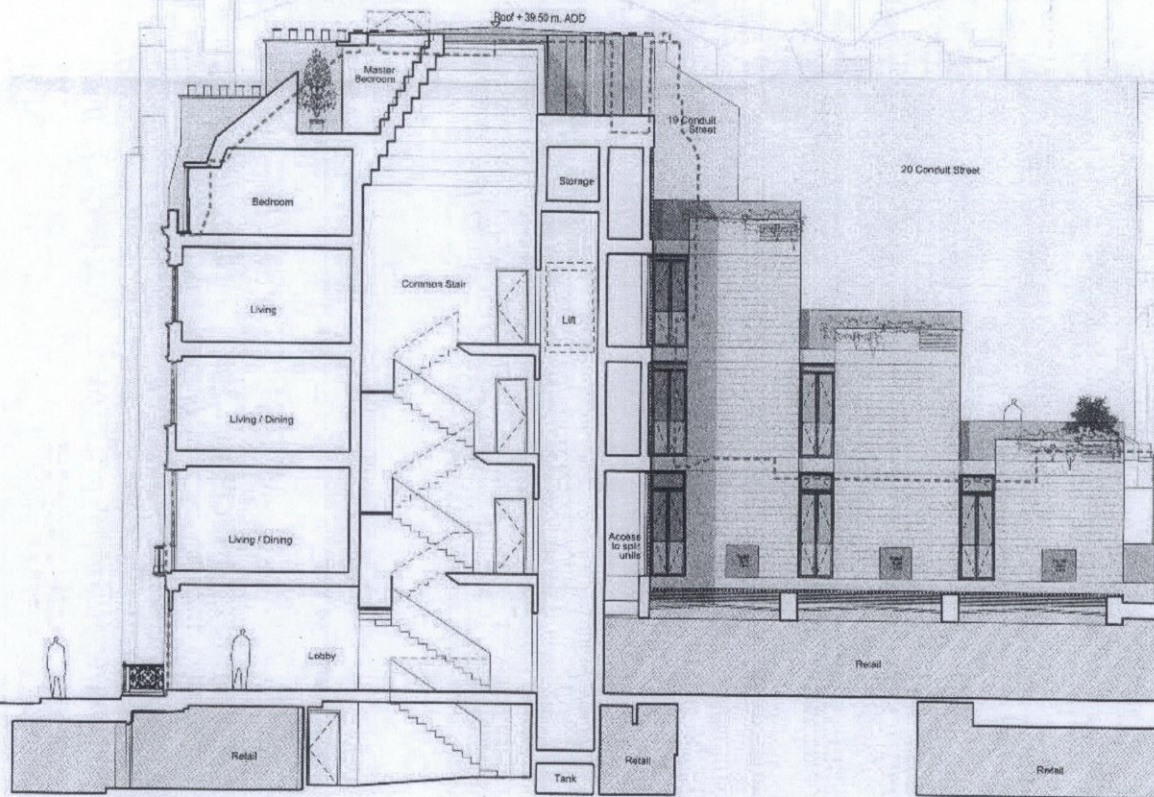
Drawing Number
A-253

Scale: 1:100
Sheet Size: A2
Creation Date: 10/08/2015
Revision:
P1





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--- Existing building outline
 [Shaded Box] Retail demise not included in application

Project Name
18 Conduit Street

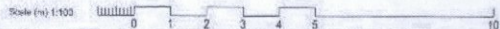
Status
Planning Application
 Drawing Title
Section AA as proposed

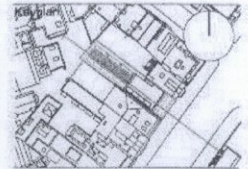
Drawing Number
A-251

Scale 1:100
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 Creation Date 10-08-2015

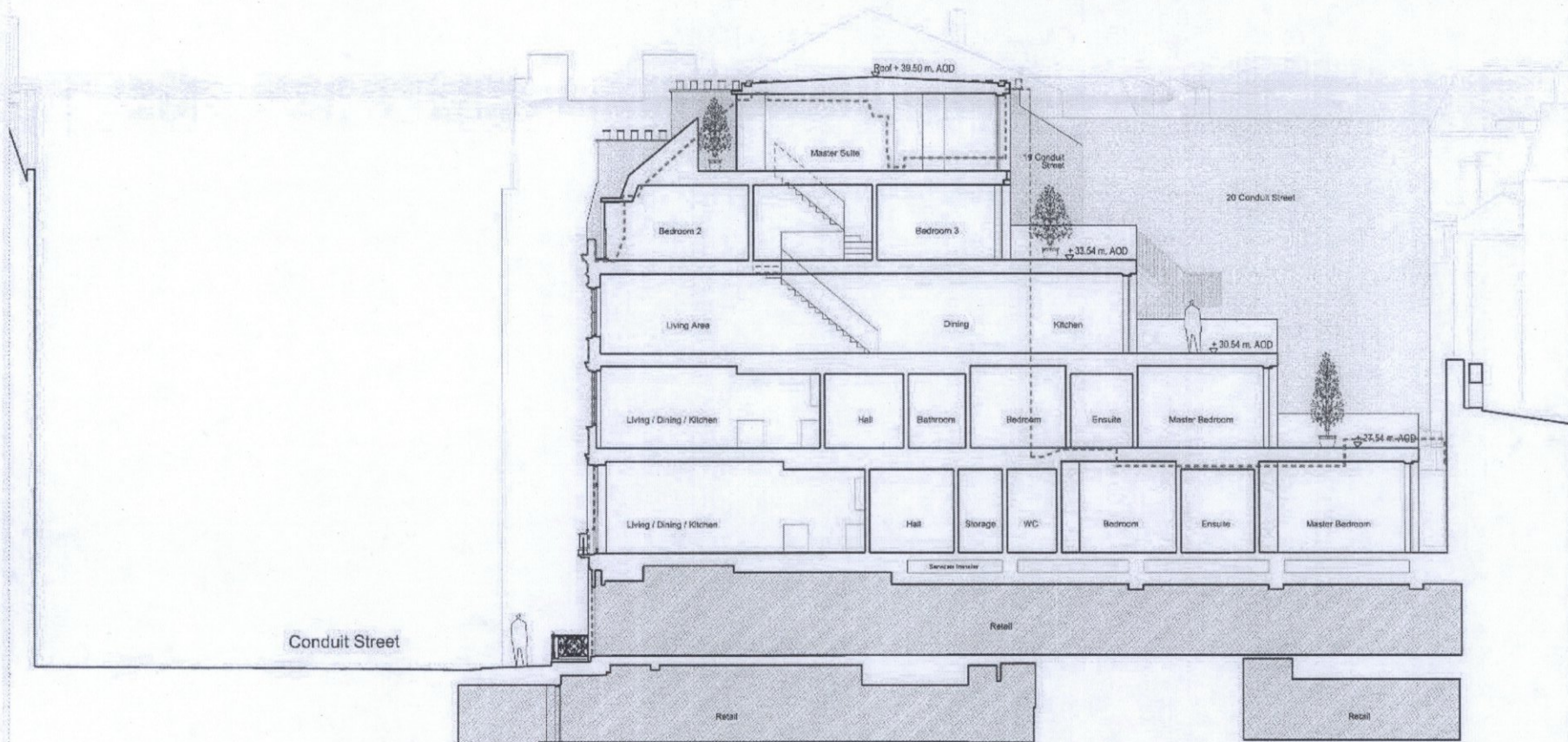
Revision
P1

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----- Existing building outline

▨ Retail demise not included in application

Project Name
18 Conduit Street

Status
Planning Application

Drawing Title
Section BB as proposed

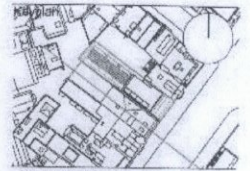
Drawing Number
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Creation Date: 10.09.2015

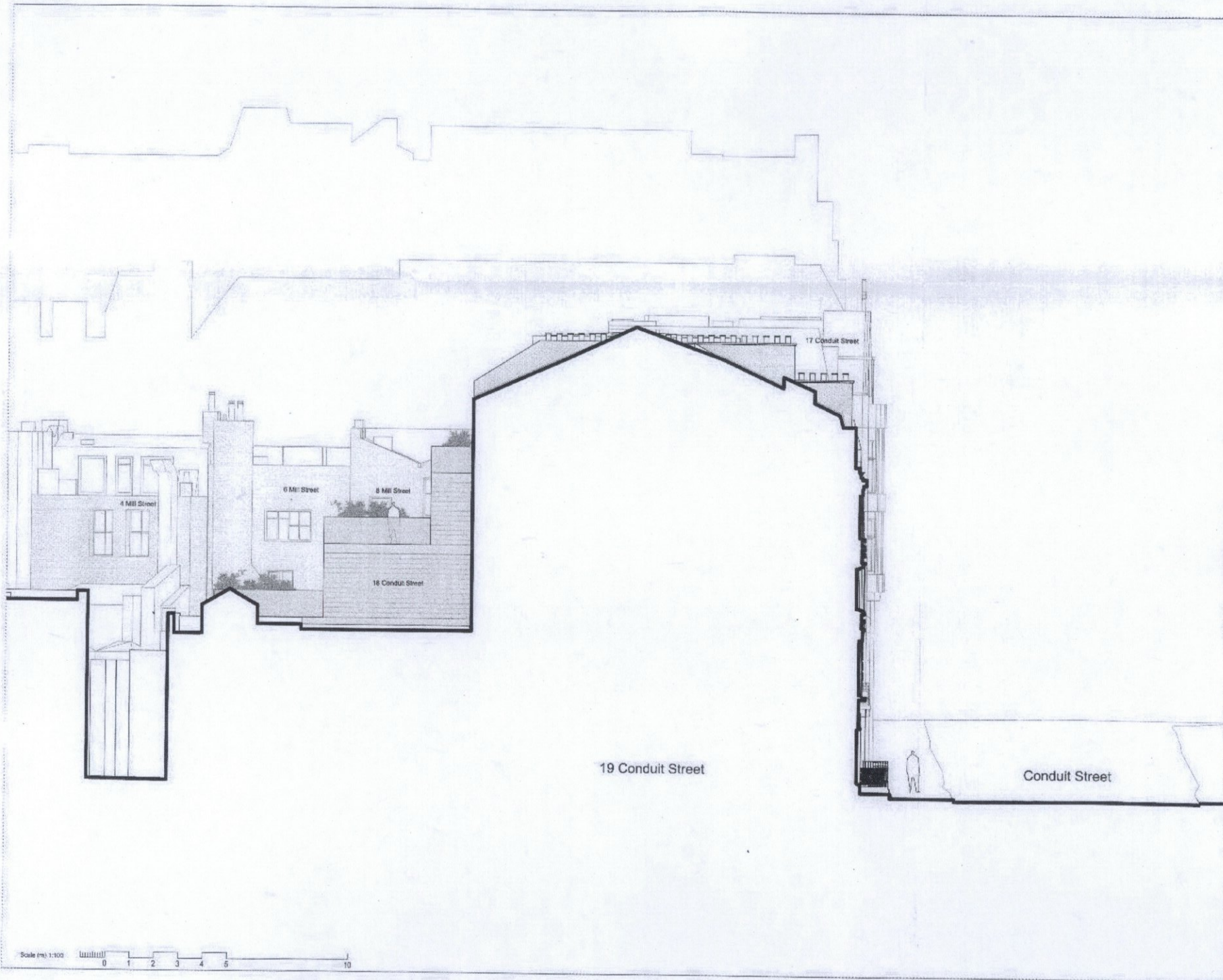
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Scale (m) 1:100



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----- Existing building outline

Project Name
18 Conduit Street

Status
Planning Application
Drawing Title
West Elevation as proposed

Drawing Number
A-254

Scale 1:100
Sheet Size A2
Creation Date 10-09-2015

Revision
P1

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